



Town of Frederick Board of Trustees Agenda

Frederick Town Hall
Board Chambers
401 Locust Street
Tuesday, May 12, 2020

7:00 P.M. Regular Meeting

In order to promote social distancing and to protect the health and safety of our Board members, staff, and community this meeting will be conducted via Zoom Video Communications. Interested parties are encouraged to access the meeting either via the web or by telephone. The meeting information is as follows:

Join Zoom Meeting

<https://zoom.us/j/93888664942?pwd=RENVUIBFM0RzUXBKOW5kRzJpVFJBQT09>

Meeting ID: 938 8866 4942

Password: 160971

One tap mobile

+16699006833,,93888664942# US (San Jose) 12532158782,,93888664942# US
+(Tacoma)

Dial by your location

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 929 436 2866 US (New York)

+1 301 715 8592 US (Germantown)

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Meeting ID: 938 8866 4942

Find your local number: <https://zoom.us/u/ablzOJL581>

Please contact Town Clerk Meghan Martinez for questions regarding the meeting. 720-382-5500 or mmartinez@frederickco.gov

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Public Comment at a Virtual Meeting Board of Trustee Meeting

Interested parties who would like to address the Board of Trustees during the Public Comment portion of the agenda may address the Board of Trustees virtually or in person. **To address the Board in person, individuals may also appear at Town Hall (401 Locust Street Frederick, CO) and are asked to sign up on the sign-up sheet in the Board Room. Individuals who would like to attend virtually are asked to sign up to speak during public comment by emailing the Town Clerk at mmartinez@frederickco.gov. Individuals are asked to provide the Town Clerk the following information:

1. Name
2. Address
3. Topic for Comment
4. Phone Number or Name that will be utilized in the zoom meeting application
5. Any documents that will be shared in the meeting.

The Town Clerk will verify your attendance prior to the meeting and will test your connection and microphone.

If there are public hearings scheduled for the Board of Trustee meeting, individuals who wish to address the Board of Trustees virtually are asked to contact the Town Clerk via email at mmartinez@frederickco.gov by 5:00 PM on date of the meeting. Individuals are asked to provide the Town Clerk the following information:

1. Name
2. Address
3. Public Hearing Item for Comment
4. Phone Number or Name that will be utilized in the zoom meeting application
5. Any documents that will be shared in the meeting

**Individuals that would like to attend the meeting at Town Hall are asked to sign up on the public comment sheet in the board room.

Any individual who is attending the meeting and wishes to be address the Board of Trustees during Public Comment or a Public Hearing may utilize the “raise your hand” feature in the Zoom Meeting App.

How to raise your hand in Zoom

1. During the meeting, click on the icon labeled “Participants” at the bottom center of your PC or Mac screen
2. At the bottom of the window on the right side of the screen, click on the button labeled “Raise Hand.”



3. Your digital hand is now raised. Lower it by clicking the same button, now labeled “Lower Hand”
4. If you are on a mobile device, simply tap “Raise Hand” at the bottom left corner of the screen. The lower hand icon will turn blue and the text below it will switch to say “Lower Hand” while your hand is raised.

****In the interest of public safety in person attendees will be asked to wear a mask, have their temperature taken by the Frederick PD and sanitize their hands up entry to the building. Town Staff will be on hand to assist attendees****



Town of Frederick Board of Trustees Agenda

Frederick Town Hall
Board Chambers
401 Locust Street
Tuesday, May 12, 2020

**6:30 P.M.
Work Session**

**7:00 P.M.
Regular Meeting**

Call to Order – Roll Call:

Pledge of Allegiance:

Approval of Agenda:

Special Presentations:

Public Comment: This portion of the Agenda is provided to allow members of the audience to provide comments to the Town Board. Please sign in and the Mayor will call you. If your comments or concerns require an action, that item(s) will need to be placed on a later Agenda. Please limit the time of your comments to three (3) minutes.

Staff Reports:

- A. Administrative Report – Bryan Ostler, Town Manager
- B. Town Clerk’s Report – Meghan Martinez, Town Clerk

Consent Agenda: Consent Agenda items are considered to be routine and will be enacted by one motion and vote. There will be no separate discussion of Consent Agenda Items unless a Board member so requests, in which case the item may be removed from the Consent Agenda and considered at the end of the Consent Agenda.

- C. April 28, 2020 Minutes – Meghan Martinez, Town Clerk
- D. List of Bills – Jason Leslie, Finance Director
- E. Resolution 20-R-40 Terminating the Temporary Cost Reduction in Annual Passes and Green Fees for the Bella Rosa Golf Course – Tim Schwartz, Golf Manager

Action Agenda:

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- F. Resolution 20-R-39 Approving the First Amendment to the Raspberry Hill Business Park Memorandum of Agreement for Public Improvements – Rick Samson, Town Attorney
- G. Resolution 20-R-41 Authorizing the Mayor to Execute and Intergovernmental Agreement for Community Development Block Grant Program – Kirstyn Jovanovich, Deputy Town Manager
- H. Resolution 20-R-42 Approving a Conditional use for a Bus Sales and Light Maintenance Business – Maureen Welsh, Planner
- I. Public Hearing Resolution 20-R-43 Approving a Sign Design Program for Guardian Storage – Maureen Welsh, Planner
- J. Resolution 20-R-44 Approving a Conditional Use for an Automotive Sales Business – Ali VanDeutekom, Planner
- K. Public Hearing Resolution 20-R-45 Regarding the Review of the Preliminary Plat of the Prosperity Subdivision, Adopting Certain Findings of Fact and Conclusions Favorable to the Preliminary Plat – Ali VanDeutekom, Planner

Discussion Agenda:

- L. Trustee Vacancy – Meghan Martinez, Town Clerk
- M. Appointments – Meghan Martinez, Town Clerk

Mayor and Trustee Reports:

Adjournment:



Town of Frederick Memorandum

TO: Honorable Mayor and Board of Trustees

FROM: Bryan Ostler, Town Manager

DATE: May 12, 2020

CC: Town Staff
Local Media

SUBJECT: Departmental Report

Upcoming Board of Trustees Work Sessions – If there are topics that the Board would like staff to schedule for discussion, please let me know. The following topics are recommended for Board discussion (all meetings will be held in the Town Board Chambers unless otherwise indicated):

- May 19, 2020 – Work Session
 - May 26, 2020 – Regular Meeting
 - June 2, 2020 – Work Session
 - June 9, 2020 – Regular Meeting
-

Police Department

- *Community Service Officer* – On May 4, Shane Arnsperger began his employment with the Town and started his training program as a CSO. Shane previously worked for Jefferson County as a Sheriff's Deputy and has over 20 years of law enforcement experience. Welcome, Shane!
- *Birthday Party Drive-by* – With the COVID-19 lockdown in affect, many kids in our community have had to celebrate a birthday in isolation with immediate family members. To make these birthdays a little more special, the police department has worked in cooperation with the FFFPD to conduct Birthday Party Drive-bys. Firetrucks and police cars will parade down the street with emergency lights activated and Happy Birthday wishes from the vehicles PA system. There have been several community requests in the last few weeks and we have accommodated these requests when call and workloads allow.
- *Police Officer Hiring* – The department continues efforts to select qualified police officers for our open positions. We conducted in-person interviews on May 6, following strict CDC COVID-19 guidelines and interviewed several candidates. The screening process is lengthy and thorough, but assures that successful candidates can meet the high expectations held by our community.

Administration

- *Recruitment & Hiring* – We are anticipating welcoming Amanda DeBord as our new part-time Administrative Assistant on June 1. Amanda will be supporting the Planning, Engineering and Human Resources departments primarily, and we look forward to welcoming her to the team. In addition, we have a new Police Officer joining our team soon – Esther Collins is relocating from Texas where she has extensive experience as a detention officer. Welcome, Esther!

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- *Compensation* – We continue to work with our consultant, Public Sector Personnel Consultants, on our Town-wide compensation analysis project. To date, they have completed work on the sworn police officer and command staff positions. They will be analyzing every position within the Town to ensure that we are competitive in the market in terms of salary and benefits.
- *Benefits Advisory Committee* – The newly formed Benefits Advisory Committee met this week for the first time via Zoom. This group is comprised of 2 to 3 employees from each location (Town Hall, Police Department, Public Works and Golf Course), and is tasked with researching our options around employee benefits. This group will evaluate our current plans against what may be available in the market, and will ultimately make recommendations for any changes to the budgetary committee for next year’s budget.
- *Communications and Engagement* – Updates dedicated to COVID-19 resources, information and Town updates are at www.FrederickCO.gov/Covid19. Information about Town office and facility closures and restaurant operations was added. Participating in weekly calls with Weld PIO, CCCMA and weekly updates from Carbon Valley Emergency Management. Attending Carbon Valley of Chamber Zoom After Hours and relaying Town updates.
- *Social Media* - Focused on sharing reliable COVID-19 resources, the Town’s updates, Faces of Frederick and local business support on Facebook, Twitter and Instagram. Nextdoor posts for Town office/facility closure extension and transportation survey. April post with highest reach of 43.7K was video of T-rex mask on April 10. The most engaging April post was “vandalism at FRA” with 6.8K engagements on April 16.
- *Events Status* – Due to the COVID-19 pandemic, events in June are being evaluated. Recommendation for Frederick in Flight has been submitted.
 - Finale Friday & Farmers Market: Possible limited farmer’s market with strict guidelines and limited food only vendors.
 - Frederick In Flight: Memorandum with recommendation for 10th anniversary in 2021.
 - Chainsaws & Chuckwagons: Carvers have been contacted for feedback. Researching other carving events.
 - Miners Day: Entertainment has been booked, and rentals and bounce houses secured. Vendors are starting to submit applications.
- *Website Redesign* – A redesign of the Town’s website is ongoing with the second round of revisions sent. Project is on schedule.
- *Training* – Participating in month long series hosted by CCCMA Leadership: Mission Critical training.
- *Transportation Master Plan Survey* – Posted on Facebook, Frederick Flash and Nextdoor. We have 260 responses to date. Survey closes May 18.
- *Bella Rosa* – Producing weekly Golf Tip video and promoting Mother’s Day special.

Public Works

- *Streets* - Crews graded County roads 20.5, 16.5, 5, 14, 17, and West Tipple Parkway. The grader will now be down for a few weeks while the mold board is upgraded. The street sweeping summer schedule has started. Crews are working on repairing pot holes on Colorado Blvd and Silver Birch, and will continue to look for other areas when those are completed.
- *Parks* - Crews have started aeration of parks throughout Town of Frederick and also have fertilized all town parks. General park maintenance with emptying trash, and restocking pet waste bags. Crews started mowing and weed-eating all parks on May 4. Work on the floor tiles for Fitness court at FRA started on May 7, and should be completed by May 11. A claims adjuster from CIRSA met with staff at FRA to look at the vandalism that was done a few weeks back. Estimates on the damages are now around \$12,000. A contractor was hired to take out and replace concrete at FRA that was noted as a trip hazard by CIRSA during our last inspection.
- *Water* - Crews repaired a broken plastic service line at 117 6th Street. All of the old plastic line was replaced with a new ¾” copper line. Sidewalk repairs and an asphalt street patch was made on the 400 block of 2nd Street, where a service line break occurred last in March.

- *Buildings* - Crews performed cleaning and disinfecting at Town Hall, as well as the PW building. Checked water leak issues at the Police Station. Crews worked with contractor to put down new concrete for the public works building enclosure project.
- *Open Space* - Started mowing schedule for open space areas.
- *Storm Water* - Continued checking inlets and outlets throughout town for blockage in the run-off areas.
- *Miscellaneous* - Crews were cleaning out and removing sanders and plows from trucks for the summer work season.
- *Public Works Training* - Training for employees remains to be cancelled. We will reschedule when offered in the future.

Planning Department

- *Park Development* – Our 2020 park improvements are well underway. Please look at the Town’s construction page for pictures of updates.

The skate park work is progressing nicely now that we’ve had a good stretch of weather. The street course continues to move along and public art will begin to be installed within the next six weeks. The intermediate bowl has been framed and concrete will begin to be poured in this area in the next week. The beginner and professional bowls will follow work in these areas.

The concrete has been poured for the fitness court and flooring will be installed May 7. After that, the equipment can be installed.

Thank you for awarding the bid for the Coalridge Neighborhood Park renovation. We’re working to finalize colors with the contractor who received the bid. Once colors are finalized, it can take up to six weeks to receive the equipment and then installation will take another few weeks.

- *Parks, Open Space, and Trails Master Plan Update* – Work has begun on the update to the Parks, Open Space, and Trails Master Plan. MIG, the consultant, has begun collecting background information and has visited the facilities within the Town. A meeting with the Parks, Open Space, and Trails Commission was held virtually May 6. We’re excited to have this process underway.
- *Development Applications* – Development interest remains strong. While we had a short period of fewer contacts when the virus first struck, we are now returning to pre-virus levels of interest in development. We continue to observe social distancing practices and are not having in-person meetings for day-to-day activities and required public meetings (neighborhood meetings and Planning Commission).

The development review process has a few steps land use applications go through prior to submitting an application such as a pre-application meeting and neighborhood meeting. There are fourteen projects that have completed the pre-application step. Eleven projects have completed the neighborhood meeting, allowing them to submit an application. The following applications have been accepted for review and are now quasi-judicial.

<i>Project Name (Date of Application)</i>	<i>Subdivision</i>	<i>General Location</i>	<i>Brief Description</i>
Bear Industrial Park, Block 1, Lot 10, 4030 Bruin Site Plan Amendment (05/04/2020)	Bear Industrial Park	4030 Bruin Boulevard	Site plan amendment to create an approved outdoor storage area.
Bear Industrial Park Replat 5, Block 1, Lot 1 – 4021 Kodiak Ct. Site Plan (02/18/2020)	Bear Industrial Park	4021 Kodiak Court	Site plan for a 1,000 square foot facility with outdoor storage.

<i>Project Name (Date of Application)</i>	<i>Subdivision</i>	<i>General Location</i>	<i>Brief Description</i>
Bear Industrial Park, Block 1, Lot 3 - Guardian Storage Sign Design Program Alternative	Bear Industrial Park	9051 Bruin Boulevard	Request to modify their signs beyond what the Code allows.
Carriage Hills Filing 1 Replat A (03/15/2020)	Carriage Hills	Generally, north of Highway 52, west of Frederick Way	Replat to adjust lot sizes and remove alleyways.
Carriage Hills Marketplace Filing 1, Subdivision Amendment, Conditional Use, and Site Plan (10/07/19)	Carriage Hills Marketplace	6731 Highway 52, Generally, east of 7-11 and Napa on Frederick Way, north of Highway 52	Subdivision amendment, conditional use, and site plan for a Ziggi's Drive Through (624 square feet) and site plan for a 5,000 square foot commercial building.
Clearview Villages Zoning Amendment, Preliminary Development Plan, Final Development Plan, Preliminary Plat and Final Plat (11/18/19)	Clearview Villages	Generally, at the southwest corner of Silver Birch Boulevard and Godding Hollow Parkway	Zoning amendment, development plan and plat on approximately 102 acres.
Del Camino South Replat C Lot 1, SNS Ironworks Amended Site Plan (03/16/2020)	Del Camino South	4250 Salazar Way	Site plan amendment to add structures within the approved outdoor storage area.
Dreamers Ridge II Annexation (12/02/19)	Dreamers Ridge II Annexation	Generally, at the southwest corner of Aggregate Boulevard and Godding Hollow Parkway	Annexation and subdivision of approximately 36.5 acres with a zoning of Residential Estate.
Eagle Business Park Filing 3, Lot 1B – Black Diamond Site Plan (10/21/19)	Eagle Business Park Filing 3	7400 Eagle Boulevard	Site plan for a 11,800 square foot office/warehouse.
Eagle Business Park Filing 4B, Lot 3 – Colorado West Equipment, Inc Conditional Use (10/07/19)	Eagle Business Park Filing 4B	4970 Eagle Place	Conditional use and site plan for a 16,019 square foot office/warehouse.
Frederick West Business Park Filing 3, Block 3, Lot 1 – Wadsworth Site Plan and Subdivision Amendment (01/17/2020)	Frederick West Business Park	7990 Miller Drive	Subdivision amendment and site plan for a 24,616 square foot office and maintenance facility.
Glacier Business Park 4 th Filing Block2, Lot 3, G2 Motor Cars Conditional Use (03/03/2020)	Glacier Business Park	3770 Eureka Way	Conditional use for a used auto sales.

<i>Project Name (Date of Application)</i>	<i>Subdivision</i>	<i>General Location</i>	<i>Brief Description</i>
Glacier West Business Park Lot 9B – Ziggi’s West Subdivision Amendment, Conditional Use and Site Plan	Glacier West Business Park	3450 Highway 52	Subdivision amendment, conditional use, and site plan for a Ziggi’s Drive Through (624 square feet).
HCT Annexation – McDonald Farms Zoning and Site Plan	HCT Annexation	7440 East I-25 Frontage Road	Zoning of approximately 136.3 acre property and documentation of the existing site.
Hepp Farm – Gooch Zoning Amendment and Subdivision Amendment (03/02/2020)	Hepp Farm	Generally, ¼ mile north of Bella Rosa Parkway and west of Silver Birch Boulevard	Zoning amendment to apply zoning and subdivision amendment to create 2 residential lots.
Hidden Creek Amendment 4 (04/06/2020)	Hidden Creek	Generally, north of Tipple Parkway, east of Ridgeway Boulevard	Subdivision Amendment to revise the location of 35 lots within the subdivision. The net change in the number of lots is 0.
Meadowlark Business Park Filing 3, Block 1, Lot 3, Malm Site Plan Amendment (05/04/2020)	Meadowlark Business Park	5641 Iris Parkway	Site plan amendment to build an accessory building.
Nelson Lakes Subdivision MOAPI Amendment and Construction Plan Review (10/17/19)	Nelson Lakes	Generally, north of CR 16 ½ and west of CR 3 ¼	Amendment to the existing MOAPI and review of construction plans.
Nelson Wells – Kerr McGee (07/15/19)	Lanson Farm	Generally, south of Tipple Parkway, ½ mile west of Silver Birch Boulevard	Special use permit for 24 new wells
Old Town Block 17, Lot 11 – 141 5 th Street Site Plan Amendment (04/15/2020)	Old Town	141 5 th Street	Site plan amendment to add approximately 500 square feet.
Old Town Block 21, Lot 6 – 502 Walnut Street Site Plan (08/29/19)	Old Town	Generally, the southeast corner of 5 th Street and Walnut Street	Site plan for an approximately 3,723 mortuary.
Prosperity Preliminary Plat (05/06/19)	Prosperity	South of Tipple Parkway/CR 16, ¼ mile east of Ridgeway Boulevard/CR 15	Preliminary plat for 207 single family residential lots.
Raspberry Hill Business Park Lots 4 & 5 Site Plans (10/21/19)	Raspberry Hill Business Park	Generally, north of Godding Hollow Parkway and west of Raspberry Way	Site plans for each lot consisting of 2 buildings approximately 20,250 square feet each.

<i>Project Name (Date of Application)</i>	<i>Subdivision</i>	<i>General Location</i>	<i>Brief Description</i>
Raspberry Hill Business Park Replat A, Lot 7A – Stapp Toyota Site Plan Amendment	Raspberry Hill Business Park	8019 Raspberry Way	Amendment to an existing site plan to add covers over parking area
Silverstone Filing 5 Plat and Final Development Plan (02/03/2020)	Silverstone	Generally, north of Highway 52 and east of William Bailey Avenue	Plat to create 3 lots.
Silverstone Filing 5 Tract A, Circle K Site Plan (04/20/2020)	Silverstone	Generally, the northeast corner of William Bailey Avenue and Highway 52	Site plan for a 5,187 square foot convenience store, 2,100 car wash, and gas facility.
Sonic Site Plan (07/05/16)	Halleck	North of Tipple Pkwy/West of Colorado Blvd	Site plan for a 2,478 square foot restaurant with a drive in and drive through.
Tops Business Park Lots 1, 2, and 5 Site Plan (05/16/18)	Tops Business Park	South of Hurt St/West of Colorado Blvd	Site plan for expansion of the existing storage facility.

Finance Department

- *2019 HUTF Report* – The 2019 Highway Users Tax Fund Report is in process. The report will be completed and filed with the State of Colorado.
- *2019 Audit* – The 2019 audit is wrapping up. The Financials are in the process of being drafted.
- *2019 CAFR* – Work on the 2019 Comprehensive Annual Financial Report has started. The final report will be available at the end of June.

Engineering Department

- *COVID-19 Engineering* – Engineering staff is working remotely. There has been a greater focus on development review and project administration tasks.
- *COVID-19 Building* – Building Staff continues to process permits and perform inspections on a limited basis. Buildings must be of new construction and unoccupied to get an inspection. Midroof inspections are not required at this time.
- *Thunder Valley K-8 Multiuse Trail Project (SRTS Grant) (no change)* – The Town approved a contract for construction at the January 14 Board meeting with Concrete Works of Colorado (CWC). Current construction trail work is on the eastern side of Ridgeway Blvd along the Savannah Subdivision. The submitted schedule has this project completing construction in early August prior to school starting.
- *Stormwater Master Plan* – Frederick and Dacono jointly submitted a Department of Local Affairs Energy Impact Grant application in December 2019 to develop a stormwater master plan and on April 3, the Town received notification that they were awarded funding! Town staff developed a request for proposal to procure a consultant with expertise in stormwater and this was advertised on May 4. A recommendation to award a consultant contract is expected to come to the Board in late June.
- *Transportation Master Plan* – A contract was approved to Felsburg, Holt and Ullevig (FHU) to develop a Town of Frederick Transportation Master Plan. This project continues and the consultant is working with staff to determine alternative ways to engage the public for feedback. A community survey has been posted on Town social media outlets and public response has been high. A Zoom Meeting for the PAC Committee is scheduled for May 20.
- *2020 Asphalt Seal Project* – This year's project includes crackseal, slurry seal and chip seal applications for multiple areas around Town. A contract for construction was awarded to Vance Brothers at the April 28 Board meeting. The contractor has provided a start date of May 26 in

Countryside as their starting point. Schedule updates will be provided by the contractor and posted on the Town's social media as the project advances.

- *2020 Pavement Maintenance Project* – This year's project includes asphalt patching, mill and overlays and road reconstruction for multiple areas around Town. A contract for construction was awarded to Elite Surface Infrastructure at the April 28 Board meeting. A more detailed construction schedule will be coming in the near future.
- *2020 Concrete Alley Program* – This year's project is for construction of a concrete alley between 6th and 7th Streets from Elm to Locust. A contract for construction was awarded to Stone & Concrete at the April 28 Board meeting. A more detailed construction schedule will be coming in the near future.
- *Milavec Aerators (no change)* – Three new aerators were successfully installed at the lake on April 14 and 15. These aerators float on the surface of the water unlike the current aerators that push air up from the bottom of the lake. It should be understood that as the aerators increase circulation it will mix materials from different layers in the lake. There is a strong likelihood that the odor will initially get worse until the nutrients stabilize and the algae is no longer able to grow at large levels. This is one step in addressing the algal bloom and odor issues at the lake.

Golf Course

- *Green Restoration Project* – The green restoration project (holes #1, #2, #9) is nearly complete. The green complexes were cored out, new drainage installed, 12" of new sand material added and bent grass sod has been installed. Greens will be watered numerous times per day and rolled (with a greens roller) twice per week. Once the sod is rooted in, mowing will begin and the greens should be playable by May 31.
- *Golf Course Maintenance* – During the golf course closure, our maintenance staff has been able to complete numerous projects such as rough and fairway aerification and deep tining, applications of herbicide and fertilizer on fairways, tees and greens, weed control, general mowing and landscaping maintenance. Green aerification was performed utilizing a ½" tine.

Board Items

- *Frederick High School Senior Recognition* - Staff has been working on a number of ideas, in collaboration with FHS, on getting signs that support the seniors. Staff is in the process of ordering signs and working on a fun way to distribute them throughout the community.
- *Clean Up Day Options*: Staff is working on options to provide a voucher process for clean up day this summer. Staff will have options and present as a discussion item at the May 26 Board meeting.



Town of Frederick Memorandum

TO: Honorable Mayor Tony Carey and Board of Trustees

FROM: Meghan Martinez, Town Clerk

DATE: May 8, 2020

SUBJECT: Town Clerk's Report

- *Liquor Licensing*
 - The following renewals are being reviewed
 - 7-Eleven
- *Records Requests*
 - We continue to see more and more records requests and staff is working to respond to those requests as quickly as possible. Requests have included the following topics:
 - Documents related to the Shores at Plum Creek Metro District
 - Property Records
 - Building Permit Information
 - Inquiry regarding PO Boxes
 - Documents related to various development applications
 - Employee contracts
- *Scholarship Commission*
 - Working to schedule ratification of scholarships at an upcoming Board meeting
 - Working with Mayor Crites on changes to the municipal code
- *Skate park Art*
 - Working with staff and two artists to complete contracts to complete art in the park
 - Working with planning on the decorative center piece for the park
- *Deputy Town Clerk*
 - The position has been posted and will close at the end of the month
- *Laserfiche Upgrade*
 - Working with our vendor to upgrade the Town's records management software

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Town of Frederick Board of Trustees

Regular Virtual Board Meeting Minutes
Frederick Town Hall, 401 Locust Street
April 28, 2020

Call to Order: At 7:00 p.m. Mayor Carey called the meeting to order and requested roll call.

Roll Call: Present were Mayor Carey, Mayor Pro Tem Brown and Trustees O'Neal, Crites and March. Trustee Figurilli and DeSantis were not present. Also present were Town Attorney Rick Samson, Town Manager Bryan Ostler and Town Clerk Meghan Martinez.

Pledge of Allegiance: Mayor Carey invited everyone to join in the Pledge of Allegiance.

Public Comment:

Mayor Carey announced that no one had signed up for public comment either in person or on the Zoom Application.

Staff Reports:

Administrative Report: Town Manager Bryan Ostler provided a written report.

Town Clerk's Report: Town Clerk Meghan Martinez provided a written report.

Town Attorney's Report: Town Attorney Rick Samson provided a written report.

Consent Agenda:

Motion by Mayor Pro Tem Brown and seconded Trustee Crites to approve the consent agenda which consisted of the following items:

- April 14, 2020 Minutes

Upon roll call vote, motion passed unanimously.

Action Agenda:

Resolution 20-R-30 Authorizing the Town Manager to Execute an Agreement with RME LTD., LLC DBA Elite Surface Infrastructure for the Town's 2020 Pavement Maintenance Program: Engineer Jason Berg presented the proposed resolution. Motion by Mayor Pro Tem Brown and seconded by Trustee March to approve Resolution 20-R-30. Upon roll call vote, motion passed unanimously.

Resolution 20-R-31 Authorizing the Town Manager to Execute an Agreement with Stone and Concrete, Inc. for the Town's 2020 Concrete and Alleyway Maintenance Program: Engineer Jason Berg presented the proposed resolution. Motion by Mayor Pro Tem Brown and seconded by Trustee Crites to approve Resolution 20-R-31. Upon roll call vote, motion passed unanimously.

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Resolution 20-R-32 Authorizing the Town Manager to Execute an Agreement with Vance Brothers, Inc. for the Town's 2020 Seal Project Pavement Maintenance Program: Engineer Jason Berg presented the proposed resolution. Motion by Mayor Pro Tem Brown and seconded by Trustee Crites to approve Resolution 20-R-32. Upon roll call vote, motion passed unanimously.

Mayor and Trustee Reports:

Trustee March: He asked about the status of the golf course and when it will be ready to go. Town Manager Ostler provided an update. He also inquired about public swimming pools and whether they can open.

Trustee O'Neal: He asked about installing hand sanitizer at playgrounds. Mayor Carey asked if he would bring it up during the report with the new board. Motion by Trustee O'Neal and seconded by Trustee March to raise the salary for Mayor to \$500/month and Trustees to \$250/month. Upon roll call vote, motion passed 3-1 with Trustee Crites voting no. Town Attorney Samson indicated that the increase will only affect the three new Trustees and the new Mayor due to statutory requirements.

Trustee Crites: She thanked Laura. She is extremely grateful for her service and devotion to the Town. She enjoyed learning from her over the years. She also thanked Mayor Carey for his love for the Town of Frederick and for always doing what is best for the community. The sacrifice that he and his family has made has changed her life and many lives in the Town of Frederick. She tendered her resignation to Mayor Carey as a Trustee effective immediately.

Mayor Pro Tem Brown: She thanked her husband David. She also thanked everyone she has served with; their combined knowledge and experience has made her a better Trustee. She thanked Tony for his years of service. No one will know the amount of time and effort he has put into his job when no one was looking. She also was always struck by his observance of the performance of American Democracy. He has made her a better resident of her country. Thank you to staff, over her years of service she has seen the level of professionalism steadily rise. It is a wonderful thing to see. Boards come and go; she has seen staff to continue a culture of excellence. To the new Mayor and Board; welcome. As you sort through things, remember you may not always agree and that's okay. Do respect one another. Do be honest with one another. Say what you need to say. You don't get do overs; bring it to the table. Be generous with one another. Remember the golden rule. Whether or not you always agree; remember that even in disagreement you are a team. She wished the new board well.

Mayor Carey: He thanked previous Mayors for setting the stage. He is very excited about the new board; they have an opportunity to move this Town forward in ways we haven't been able to. He thanked Mayor Doering for helping him. He thanked Matt LeCerf and Meghan. He thanked Jim Wollack who taught him how to pit maneuver. He thanked his partner Jason Hepp. He thanked his wife and son. He reminded the new board that they represent everyone. He is very excited to see what the new board does.

At 7:40 Mayor Carey recessed the meeting of the Board of Trustees.

Mayor Tracie Crites was sworn in by Town Clerk Meghan Martinez.

Trustees Brown, Mahan and Lamach were sworn in by Town Clerk Meghan Martinez.

At 7:50 the meeting was reconvened.

Roll Call: Present were Mayor Crites and Trustees ONeal, Brown, Mahan, Lamach, and March. Town Clerk Martinez noted that there is a vacancy on the board. Also, present were Town Attorney Rick Samson, Town Manager Bryan Ostler and Town Clerk Meghan Martinez.

Consent Agenda:

Trustee ONeal requested Item G3 be removed from the agenda.

Motion by Trustee ONeal and seconded by Trustee March to approve the consent agenda minus Item G3. Upon roll call vote, motion passed unanimously.

- Resolution 20-R-33 Appointing a Town Manager
- Resolution 20-R-34 Appointing a Treasurer
- Resolution 20-R-36 Appointing a Town Clerk
- Resolution 20-R-37 Appointing a Municipal Judge

Item G3 Resolution 20-R-35 Appointing a Town Attorney: Trustee ONeal mentioned that there is an RFP for bringing an attorney in-house and wanted to make the new board members aware. Town Manager Ostler outlined the RFP and timeline. Motion by Trustee ONeal and seconded by Trustee March to approve Item G3. Upon roll call vote, motion passed unanimously.

Mayor Crites swore in Meghan Martinez as Town Clerk.

Town Clerk Meghan Martinez swore in Bryan Ostler as Town Manager.

Town Clerk Meghan Martinez swore in Rick Samson as Town Attorney.

Town Clerk Meghan Martinez swore in Jason Leslie as Town Treasurer.

Town Clerk Meghan Martinez swore in Jeff Cahn as Municipal Court Judge.

Resolution 20-R-38 Authorizing the Town Manager to Execute an Agreement with Ridgeline Construction, Inc. DBA Performance Recreation for Park Improvements at the Coalridge Neighborhood Park: Planning Director Jennifer Simmons presented the proposed resolution. Motion by Trustee March and seconded by Trustee ONeal to approve Resolution 20-R-38. Upon roll call vote, motion passed unanimously.

Discussion Agenda:

Trustee Vacancy: Mayor Crites lead a discussion about the vacancy on the Board. Town Attorney Rick Samson provided the options available. There was consensus to take applications for the position. There was much discussion about the application process and timeline. Town Clerk Martinez will work with Mayor Crites to put together an application and timeline for review by the Board. In addition, the Board determined that they will not select a Mayor Pro Tem until they have appointed a new member.

Mayor Crites also mentioned that she would like to have a discussion at the next meeting about the various boards and commissions appointments.

Mayor and Trustee Report:

Trustee ONeal: He asked for discussion regarding placing hand sanitizer at parks when they are reopened. There was much discussion about the logistics of placement in the parks. He discussed the cancellation of clean up day and asked for an update on providing vouchers to residents.

Motion by Trustee ONeal and seconded by Trustee March to direct staff bring a voucher recycling program and limb recycling program to the next Board meeting with the intentions to implement on the 1st of June. Upon roll call vote, motion passed unanimously. He also mentioned that he has been contacted by a resident that the pandemic does not give a reason to cancel mid-roof inspections. Town Manager Bryan Ostler addressed the concerns. He is glad to see the new board in place. He is looking forward to working with everyone. He invited the new board members to contact him whenever they would like.

Trustee March: He invited the new board members to contact him whenever they would like. He is excited about working with everyone and we need to keep things rolling. Welcome everyone.

Trustee Brown: He is excited to get to work with the Board. He is looking forward to getting to know everyone.

Trustee Mahan: He is excited to work with everyone. He thanked everyone in advance for their patience as he learns to work through this process. He is looking forward to what the future holds.

Trustee Lamach: He is excited to work with everyone and the whole process. He is looking forward to bringing the Town some new opportunities and to working with the staff.

Mayor Crites: She had the privilege of sitting in on the scholarship commission interviews. She was surprised and enlightened by each of the applicants. The students were all graceful and felt loved by their community. She would like to see the Town honor them in a small way. She asked if the board would support staff looking into a way to celebrate them.

There being no further business of the Board, Mayor Crites adjourned the meeting at 9:19 p.m.

ATTEST:

Approved by the Board of Trustees:

Tracie Crites, Mayor

Meghan C. Martinez, CMC, Town Clerk

Town of Frederick - List of Bills
 March 27, 2020 - April 23, 2020

24/7 NETWORKS INC	Network upgrade	15,256.07
ACE HARDWARE OF FIRESTONE	Supplies	438.16
ADAMSON POLICE PRODUCTS	Police equipment and supplies	1,552.29
ADIDAS AMERICA INC	Golf accessories and merchandise	4,157.05
AGFINITY	Oil stock	808.00
BATTERIES PLUS	Supplies	81.95
BK TIRE, INC.	Tire replacement for fleet	1,315.72
BLACK HILLS ENERGY	Gas utility	5,024.23
CARBON VALLEY CAR WASH LLC	Vehicle maintenance	173.47
CARD SERVICES	Membership dues, travel, training & supplies	15,990.70
CASELLE, INC.	Contract Support & Maintenance	2,029.00
CENTRAL WELD CTY WATER DIST	Water taps	50,000.00
CENTURYLINK COMMUNICATIONS LLC	Phone service	146.19
CESARE INC	SRTS Material Testing	543.50
CHARLES ABBOTT ASSOCIATES INC	Inspection services - March 2020	42,466.00
CHARLES LUCAS	Tree sale refund	35.00
CHRISTOFFERSON COMMERCIAL BUILDERS INC	Right-of-Way permit refund	675.00
CINTAS CORPORATION	PW Uniform Service	767.92
CIRSA	General Liability Deductible	1,000.00
COLORADO BARRICADE CO	Street signs	111.19
COLORADO WATER SYSTEMS	Park Maintenance	13,098.10
COLORADO WATER WELL	FRA Pump Station work	3,768.00
COMCAST	Internet/Phone service	1,379.21
DANA KEPNER CO	Water meter supplies	20,359.68
DELTA GLOVES	Gloves	194.80
DENNIS ZEWE	Restitution	75.00
DGO ACCESS LLC	Building maintenance	238.00
DISCOUNT PLUMBING SERVICES INC	Park restroom maintenance	372.72
DISSCO	Street patching supplies	2,160.48
DRIVERS LICENSE GUIDE CO.	ID Checking Guide	29.95
EMPLOYERS COUNCIL SERVICES INC	Membership Dues	1,500.00
EON OFFICE	Office supplies	334.35
EVOLVE TECHNOLOGIES LLC	Phone repairs	312.50
EZ LINKS GOLF LLC	Booking & tee sheet service	550.00
FACTORY MOTOR PARTS CO	Auto parts and supplies	834.08
FAIRFIELD AND WOODS PC	Legal services	2,182.50
FASTENAL COMPANY	Equipment maintenance supplies	13.65
FLATIRONS MARKETING & PRINTING SERVICES	Printing services	215.00
FREDERICK FIRESTONE FIRE PROTECTION DIST	Blood draws	33.20
FREEDOM MAILING SERVICES LLC	Utility billing	2,387.44
GREEN MILL SPORTMAN'S CLUB	Training	300.00
HOFF CONSTRUCTION	Fitness court construction	11,695.00
IRIS BOSS	Election Judge services	200.00
JC GOLF ACCESSORIES	Golf shop accessories and merchandise	1,402.81
JEFF CAHN INC	Judge services	1,200.00
JOHN CUTLER & ASSOCIATES	Partial billing for 2019 Audit	7,500.00
JOY MOONEY	Tree sale refund	70.00

Town of Frederick - List of Bills
March 27, 2020 - April 23, 2020

KINSCO LLC	Police uniform supplies	5.98
KRISTIN NORDECK BROWN PC	Prosecution services	1,638.00
LAMP RYNEARSON & ASSOCIATES INC.	SRTS Thunder Valley K-8 Multiuse Trail	544.90
LANGUAGE LINE SERVICES	Interpreter service	14.85
LIFE STORIES CHILD & FAMILY ADVOCACY	1st Qtr. Billing	219.00
LONGMONT HUMANE SOCIETY	Animal impound fees	1,052.25
LONGMONT TROPHY & ENGRAVING	Sign and engraving services	251.15
MAC EQUIPMENT INC	Equipment supplies	281.44
MAHNKE AUTO BODY FREDERICK	Hail damage repairs	9,823.07
MARSHALL INFORMATION SERVICE LLC	Development Review software maintenance	31.25
METRON-FARNIER LLC	Skate park raw water meter	1,225.02
MODERN GOLF & TURF LLC	First stage of greens restoration project	17,500.00
MONICA LEWIS	Tree sale refund	140.00
MOUNTAIN SALES & SERVICE	Restaurant equipment lease	200.00
MULTICARD	Supplies	55.51
NANCY BERGEN	Election Judge services	400.00
NEXT STEP COMMUNICATIONS LLC	Courtroom audio improvements	4,325.00
NORTHERN ENGINEERING SERVICES	Consulting services	369.15
O'REILLY AUTOMOTIVE INC	Auto supplies and parts	122.43
PAUL C BENEDETTI	Legal services	2,275.00
PET PICK-UPS	Park supplies	1,392.84
PINNACOL ASSURANCE	Workers Comp Premiums	30,444.00
PRE ACTION FIRE INC	AES Quarterly Monitoring	525.00
RAMEY ENVIRONMENTAL COMPLIANCE	Services Distribution & Collection Systems	100.00
REDI SERVICES LLC	Porta-john Services	296.00
REIF & HUNSAKER PC	Consulting services	10,595.04
ROSA LUCAS	Spanish testing	150.00
RUSTY RIBBLE	Boot reimbursement	50.00
SAFEWAY	Supplies	21.27
SAM'S CLUB / GEGRB	Supplies	920.25
SAMSON LAW FIRM	Legal services	14,000.00
SHRED-IT USA	Document shredding	991.67
SIGNARAMA	Playground and restroom closure signs	500.00
STAPLES ADVANTAGE	Office supplies	446.24
STRIGLOS COMPANIES, INC.	VMWare licensing	37,155.00
SUE CHESTEK	Election Judge services	200.00
SUE PILON	Election Judge services	400.00
SUMMIT STRATEGIES	Economic Development Consulting	5,000.00
SWEET PEA CLEANING LLC	COVID-19 Cleaning and Disinfecting	3,590.00
SYSCO DENVER	Restaurant food order	770.71
TAYLOR MADE GOLF COMPANY	Golf merchandise	3,164.55
TELOS ONLINE INC	Wi-Fi service	309.99
THE HOME DEPOT PRO	Park supplies	902.75
THE NAKED HANGER DRY CLEANERS	Uniform cleaning	426.30
TIMBERLAN	IT services	30,850.25
TRANSWEST TRUCK	Supplies	1,306.09
UMB BANK	Bank fees	300.00

Town of Frederick - List of Bills
March 27, 2020 - April 23, 2020

UNITED POWER	Electric utility	7,657.17
UNIVERSITY AUTO PARTS INC	Auto supplies	499.18
UPPER CASE PRINTING, INK.	Printing services	1,922.50
UTILITY NOTIFICATION CENTER OF COLORADO	Utility locate transmissions	1,165.18
VERIZON WIRELESS	Wireless and phone services	4,780.27
VORTEX COLORADO INC	Building maintenance	893.05
W.L. CONTRACTORS, INC.	Monthly traffic light maintenance	550.55
WASTE CONNECTIONS OF COLO INC	Town trash collection	57,330.35
WELD COUNTY DEPARTMENT OF PUBLIC	Water testing	315.00
WELD COUNTY DIVISION OF HUMAN SERVICES	Spanish fluency testing	10.00
WELD COUNTY INFORMATION TECHNOLOGY	RSA Tokens	155.00
WEX BANK	Fuel	3,799.54
WTC-WICKHAM TRACTOR CO	Equipment maintenance supplies	8.56
	Total:	<u>479,346.21</u>



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Request to Discontinue Temporary Reduction on Annual Passes and Green Fees at Bella Rosa Golf Course

Agenda Date: Town Board Meeting – May 12, 2020

Attachments: a. Resolution 20-R-40

Finance Review:

Finance Director

Submitted by:

Tim Schwartz
Golf Course General Manager/Head Golf Professional

Approved for Presentation:



Town Manager

Quasi-Judicial

Legislative

Administrative

Summary Statement:

This is a request to discontinue a temporary fee reduction set by the Board of Trustees on annual passes and green fees at Bella Rosa Golf Course.

Detail of Issue/Request:

In mid-July 2019, Bella Rosa staff found the greens located at holes 1, 2 and 9 to be damaged with an unidentified chemical, killing off the grass at these locations. Since then, the holes at these locations were relocated while staff worked to repair the greens. As a result, at the October 1, 2019 meeting, the Board passed a motion to temporarily reduce annual passes by 35 percent and discount green fees by 25 percent at Bella Rosa Golf Course until the greens were repaired. Since this was a Board action with no end date set, action is required by the Board to end the temporary reduction.

At the November 12, 2019 meeting, the Board awarded a contract to Modern Golf & Turf, LLC to repair the three greens. After weeks of weather delays and utilization of a smaller crew due to COVID-19, the

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work has commenced and is expected to be completed by the end of May, returning to playable condition for the 2020 season.

Due to the expected completion of the greens repairs, this is a request to discontinue the temporary reduction on annual passes and green fees and return to the rates as set forth in the Town’s Fee Schedule as adopted by the Board in December 2019.

Section 4-60 Golf Course Fund

Green Fees

<u>Monday - Friday</u>	<u>9 holes</u>	<u>18 holes</u>
Adult	\$16	\$24
Senior (55+)	\$13	\$19
Junior (17 & under)	\$9	\$13
Thursday Senior Special includes golf cart	\$16	\$24
Twilight (up to 18 holes after 3:00 pm)	N/A	\$33 w/cart

<u>Weekend/Holiday</u>	<u>9 holes</u>	<u>18 holes</u>
Adult	\$17	\$25
Twilight (up to 18 holes after 3:00 pm)	N/A	\$34 w/cart

Annual Passes

<u>Pass Type</u>	<u>No Cart</u>	<u>With Cart</u>
Adult (7 days)	\$550	\$840
Adult (M-F - no holidays)	\$400	\$610
Senior (7 days)	\$475	\$715
Senior (M-F - no holidays)	\$340	\$515
Junior (7 days)	\$235	N/A
Junior (M-F - no holidays)	\$160	N/A

Staff is recommending that the discontinuation of the annual pass and green fees reduction occur once the greens are completed and playable, and the course is safely reopened to the public, as it has been closed due to the COVID-19 pandemic since mid-March.

In addition, staff is requesting that the Board authorize the Town Manager to make further adjustments to the fees that would recognize the impact of the COVID-19 closure on annual pass holders. Currently, staff is recommending providing the following options to annual pass holders due to the COVID-19 closure:

- Allow annual pass holders to extend their membership beyond their term date the number of weeks the golf course is closed; or
- Process a refund for the number of weeks closed based on the pro-rated amount (annual fee divided by 52 weeks).

Legal/Political Considerations:

The attached resolution was prepared by the Town Attorney.

Alternatives/Options:

The Board may choose not to end the reduced rates or amend the Fee Schedule to set a different rate for these fees.

Financial Considerations:

The 2020 budget was adopted with revenues projected at the adopted Fee Schedule rates. Long term discounts will impact the Golf Course Fund from meeting its projected revenues and budgeted expenditures.

Staff Recommendation:

Staff recommends that the Board approve the attached resolution.

**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-40**

**A RESOLUTION OF THE TOWN OF FREDERICK, COLORADO,
TERMINATING THE TEMPORARY COST REDUCTION IN ANNUAL PASSES
AND GREEN FEES FOR THE BELLA ROSA GOLF COURSE**

WHEREAS, three greens at the Bella Rosa Golf Course were vandalized in July 2019 resulting in the loss of those greens; and

WHEREAS, the Board of Trustees determined that a reduction in the cost of annual passes and green fees was necessary due to the loss of the three greens; and

WHEREAS, by motion made, seconded and adopted, the cost of annual passes and green fees were temporarily reduced; and

WHEREAS, the damaged greens are being repaired and will be playable in the near future.

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF FREDERICK, WELD COUNTY, COLORADO THAT;

Section 1. The Board of Trustees hereby authorizes the Town Manager to terminate the temporary reduction in the cost of annual passes and green fees and return the cost to those established in the Town's Fee Schedule adopted by the Board in December 2019 when the three greens are determined to be playable, and making such other adjustments in the fees that are deemed necessary and equitable.

Section 2. Effective Date. This Resolution shall become effective immediately upon adoption.

Section 3. Repealer. All resolutions or parts thereof, in conflict with this resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 4. Certification. The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND ADOPTED THIS 12TH DAY OF MAY 2020.

ATTEST:

TOWN OF FREDERICK

By _____
Meghan C. Martinez, CMC, Town Clerk

By _____
Tracie Crites, Mayor



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

A Resolution Approving an Amendment to the Raspberry Hill Business Park Memorandum of Agreement for Public Improvements

Agenda Date: Town Board Meeting - May 12, 2020

Attachments:

- a. First Amendment to the Memorandum of Agreement for Public Improvements for Raspberry Hill Business Park
- b. Resolution 20-R-39

Finance Review: _____
Finance Director

Submitted by: Rick Samson
Town Attorney

Approved for Presentation: 
Town Manager

Quasi-Judicial Legislative Administrative

Summary Statement:

Raspberry Hill Business Park is on the east side of I-25 around Stevenson Lexus dating back to 2005. The original Memorandum of Agreement for Public Improvements was signed October 27, 2005.

Detail of Issue/Request:

The Town of Frederick approved the Memorandum of Agreement for Public Improvements on October 27, 2005, which did not include upgrading the intersection at Raspberry Way and East I-25 Frontage Road. The Colorado Department of Transportation (CDOT) is requiring that a south bound left turn lane must be constructed immediately on the East I-25 Frontage Road. This amendment gives the Town control over the Developer to ensure that the work is done and that the intersection remains open. If the work is not done, CDOT will close the intersection which will have a negative effect on existing businesses and future businesses.

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Once CDOT has issued its State Highway Access Permit and Notice to Proceed, the Developer will post a letter of credit with the Town for the cost of the design and construction of the intersection improvements.

Legal Comments:

This Amendment gives the Town more control than it previously had.

Alternatives/Options:

If the Resolution is not approved, the Town has no ability to ensure that the construction is completed on a timely basis.

Financial Considerations:

Not applicable.

Staff Recommendation:

Staff recommends approval.

d. The Town agrees to approve the site plans for lots 4 and 5 upon the approval of this Amendment by all parties.

2. In all other respects the parties ratify and confirm the AGREEMENT as amended.

IN WITNESS WHEREOF, the parties have executed this agreement as of the date first set forth above.

TOWN OF FREDRICK

D & H LAND DEVELOPMENT, LLC

By _____
Tracie Crites, Mayor

By _____
, Manager

ATTEST:

Meghan C. Martinez, CMC, Town Clerk

STATE OF COLORADO)
) SS:
COUNTY OF WELD)

The foregoing instrument was acknowledged before me this ___ day of May 2020 by Tracie Crites and Meghan Martinez.

My commission expires:

Witness my hand and official seal.

Notary Public

STATE OF COLORADO)
) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ___ day of May 2020 by _____, Manager, D & H Land Development, LLC.

My commission expires:

Witness my hand and official seal.

Notary Public

**FIRST AMENDMENT TO
RASPBERRY HILL BUSINESS PARK**

MEMORANDUM OF AGREEMENT FOR PUBLIC IMPROVEMENTS

THIS FIRST AMENDMENT to the Raspberry Hill Business Park Memorandum of Agreement for Public Improvements (“FIRST AMENDMENT”) is made and entered this _____ day of May 2020 by and between the Town of Frederick, a Colorado municipal corporation, whose address is P.O. Box 435, Frederick, Colorado (“TOWN”), and D & H Land Development, LLC whose address is 14707 North 95th Street, Longmont, Colorado 80504 (“DEVELOPER”).

WHEREAS, the parties entered into a Master Memorandum of Agreement for Public Improvements on October 27, 2005, said agreement is recorded at the Weld County Clerk and Recorder’s office at Reception No. 3428348 (“AGREEMENT”); and

WHEREAS, the final public infrastructure for the business park is the design, approval and installation of the improvements to the intersection of Raspberry Way and the East I-25 Frontage Road; and

WHEREAS, DEVELOPER has previously submitted plans for the intersection to the Colorado Department of Transportation (CDOT) dated March 17, 2008 and titled State Highway Access Permit which CDOT had approved; however, the intersection was never built and the permit expired; and

WHEREAS, the Developer is now ready to resubmit construction plans to CDOT and to begin construction upon approval of the plans and receipt of an Access Permit and Notice to Proceed.

NOW THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant and agree as follows:

1. EXHIBIT F, of the AGREEMENT, shall be amended to include l.c. and d. to read as follows:

c. Colorado Department of Transportation has determined that to preserve the intersection of Raspberry Way and the East I-25 Frontage Road, a south bound left turn lane must be constructed immediately on the East I-25 Frontage Road. The Developer agrees to the following:

- 1) Submit a State Highway Access Permit with construction plans to CDOT immediately.
- 2) To update EXHIBIT B to include the cost to design and construct the intersection.
- 3) To post a letter of credit with the Town in amount of the cost of the design and construction of the intersection improvements.



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Consideration to Enter into an Intergovernmental Agreement with Weld County for Conduct of Community Development Block Grant Program

Agenda Date: Town Board Meeting – May 12, 2020

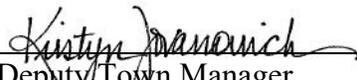
Attachments:

- a. IGA
- b. Weld County CDBG Letter – March 20, 2020
- c. Weld County CDBG Program Flyer
- d. Resolution 20-R-41

Finance Review:

Finance Director

Submitted by:



Deputy Town Manager

Approved for Presentation:



Town Manager

Quasi-Judicial

Legislative

Administrative

Summary Statement:

This is a request to enter into an Intergovernmental Agreement with Weld County to authorize and cooperate with the County to participate in Weld County's Community Development Block Grant (CDBG) Program. Entering into this Agreement will designate the Town as a participant in Weld County's CDBG Program and allow the Town to be able to apply for funds through the County program for eligible activities.

Detail of Issue/Request:

The Housing and Community Development Act of 1974 provides for the participation of the Federal government in a wide range of local housing and community development activities and programs, which are administered by the U.S. Department of Housing and Urban Development (HUD). The

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primary objective of the Act is the development of viable urban communities by providing decent housing and a suitable living environment and the expansion of economic opportunities, mainly for persons of low- and moderate-income. This is accomplished by providing financial assistance in the form of block grant funds to state and local governments via the Community Development Block Grant (CDBG) Program.

Under the CDBG Program, a county must qualify as an “Urban County” and submit to HUD an annual request for funding. The municipalities within an Urban County may be included in the Urban County by intergovernmental or cooperative agreement and thus be included in the Urban County’s CDBG Program.

Weld County is seeking Urban County classification for fiscal years 2020, 2021, and 2022, as well as future years. While the County is able to conduct community development activities within its unincorporated boundaries, the County does not have authority to conduct community development and housing assistance activities within the boundaries of the Town of Frederick. In order for Frederick to be considered a part of the Urban County and be included in the County’s annual requests to HUD for CDBG Program funds, the Town of Frederick and the County must enter into an agreement wherein the Town authorizes and agrees to cooperate with the County to undertake or assist in the undertaking of essential community development and housing assistance activities within the Town’s boundaries.

Entering into this IGA with Weld County will designate the Town as a participant in Weld County’s Urban County designation. As a participant, the Town may apply for funds through the County CDBG Program for eligible activities, which must meet three national objectives: (1) principally benefit low- and moderate-income persons; (2) prevent and/or eliminate slums and blights; and (3) satisfy an urgent need in a community.

Legal Comments:

The Town Attorney has reviewed the IGA and prepared the Resolution.

Alternatives/Options:

The Board may choose to not enter into an IGA with Weld County. If the Board chooses not to enter into the agreement, then the Town will not be able to request funding through the Weld County CDBG Program. The Town will be able to apply for CDBG funds at the State level; however, the Town will be competing with other counties across the state to receive funding for CDBG eligible projects.

If the Board chooses to enter into the agreement, the Town will be able to request funds for eligible projects through the Weld County CDBG program, but will not be able to apply for State CDBG funds.

Financial Considerations:

Participation in the Weld County CDBG program will allow the Town access to request funds for eligible projects, opening up additional Town funds for other projects.

Staff Recommendation:

Staff recommends approval of the attached resolution.

**INTERGOVERNMENTAL AGREEMENT FOR CONDUCT OF
COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM IN WELD COUNTY**

THIS INTERGOVERNMENTAL AGREEMENT (“Agreement”) is made this ____ day of _____, 2020, by and between County of Weld, by and through the Board of County Commissioners of County of Weld, whose address is P.O. Box 758, 1150 O Street, Greeley, CO 80632, a body corporate and politic of the State of Colorado, hereinafter referred to as “County,” and Town of Frederick, whose address is 401 Locust Street, P.O. Box 435, Frederick, CO 80530, a municipality located in Weld County, State of Colorado, hereinafter referred to as “Municipality.” County and Municipality may be referred to collectively as “Parties,” and individually as “Party.”

WITNESSETH:

WHEREAS, in 1974 the U.S. Congress enacted the Housing and Community Development Act of 1974 (“the Act”) thereby permitting and providing for the participation of the Federal government in a wide range of local housing and community development activities and programs, which activities and programs are administered by the U.S. Department of Housing and Urban Development (“HUD”); and

WHEREAS, the primary objective of Title I of the Act is the development of viable urban communities by providing decent housing and a suitable living environment and the expansion of economic opportunities, mainly for persons of low and moderate-income. This objective is to be accomplished by providing financial assistance in the form of block grant funds to state and local governments for the conduct and administration of housing and community development activities and programs as contemplated under the Act via the Community Development Block Grant (“CDBG”) program; and

WHEREAS, HUD rules and regulations governing the CDBG Program, as published in 24 C.F.R., Volume 3, Subtitle B, Chapter V, Part 570 (“CDBG Regulations”), provide that a county must qualify as an “Urban County,” as defined therein, and submit to HUD an annual request for funding in the form of a Three (3) year Consolidated Plan (“Consolidated Plan”) and an Annual Action Plan (“AAP”) or a Three (3) year Consolidated Plan with an Annual Action Plan component (“CPAAP”). The municipalities and other units of local government within an Urban County may be included in the Urban County by intergovernmental or cooperative agreement and may thereby be included in the Urban County’s CDBG Program; and

WHEREAS, Weld County wishes to obtain Urban County classification for the next three successive fiscal years 2021 -2023 and future years; and

WHEREAS, rules and regulation to qualify or re-qualify as an Urban County are published annually and the notice for the Federal fiscal years 2020-2022 are published in HUD Notice CPD-19-04, “Instructions for Urban County Qualification for Participation in the

Community Development Block Grant (CDBG) Program for Fiscal Years (FYs) 2020-2022;”
and

WHEREAS, HUD has determined that County is authorized to undertake essential community development activities in its unincorporated areas that are necessary to qualify as an Urban County to receive funds from HUD by annual grant agreement. This determination is based on the authority granted County pursuant to §§ 29-3-101 to 123, §§ 30-11-101 to 107; §§ 30-20-301 to 310; and §§ 30-20-401 to 422, Colorado Revised Statutes (C.R.S.), as amended; and

WHEREAS, it is recognized that County does not have independent legal authority to conduct some kinds of community development and housing assistance activities within the boundaries of Municipality and, therefore, its ability to conduct the CDBG Program in Municipality is limited. Accordingly, in order for Municipality to be considered a part of the Urban County and be included in County’s annual requests to HUD for CDBG Program funds, CDBG regulations require that Municipality and County enter into a cooperation agreement wherein Municipality authorizes and agrees to cooperate with County to undertake or to assist in the undertaking of essential community development and housing assistance activities within the boundaries of Municipality, as may be approved and authorized in County’s annual grant agreements with HUD; and

WHEREAS, pursuant to Colo. Const. art. XIV, § 18 and § 29-1-203, C.R.S., as amended, County and Municipality are expressly authorized to cooperate and contract with each other for any function, service, or facility lawfully authorized to each; and

WHEREAS, County and Municipality have determined that it would be mutually beneficial and in the public interest to enter into this Agreement. Municipality that has entered into an intergovernmental agreement with the County shall be considered a “Participating Jurisdiction” and shall be eligible to participate in the County’s CDBG programs for the County’s qualification period.

NOW, THEREFORE, in consideration of the mutual covenants and promises herein set forth, the sufficiency of which is hereby acknowledged, County and Municipality agree as follows:

I. TERM OF AGREEMENT:

This Agreement covers the CDBG Entitlement program. The initial term of this Agreement shall be for three (3) program years, beginning **July 1, 2020**, ending **June 30, 2023**. Funding for this Agreement is based on Federal fiscal years, which begin October 1st and end September 30th of the following year.

This Agreement shall automatically be renewed for an additional three (3) year term unless either party provides written notice that it elects not to participate in a new qualification period. By the date specified in HUD’s Urban County qualification notice for the next qualification period, County shall provide notice to Municipality of its right not to participate in the additional

term, pursuant to applicable HUD regulations. Any changes to this Agreement required pursuant to HUD's Urban County Qualification Notice shall be made by written amendment to this Agreement, which shall be mutually agreed upon and executed by both Parties hereto and submitted to HUD.

This Agreement shall remain in effect until the CDBG funds and Program Income ("PI") received with respect to activities carried out during the three-year qualification period and any applicable successive qualification periods pursuant to renewals of the Agreement are expended and the funded activities completed, and County and Municipality cannot terminate or withdraw from the Agreement while it remains in effect.

II. RESPONSIBILITIES OF MUNICIPALITY:

- A. Municipality and County Cooperation.** Municipality will cooperate and work with County in the preparation of detailed projects and other activities to be conducted or performed within Municipality during the Federal fiscal years during which this Agreement is in effect. Municipality will also cooperate with County, and County will cooperate with Municipality, to undertake or assist in undertaking community renewal and lower income housing assistance activities, specifically urban renewal and publicly assisted housing. The finalized projects and activities will be included in County's AAP when required, annually. Municipality understands and agrees, however, that County shall have final responsibility for the selection of all projects and activities to be included in the grant requests and the submission of requests. Municipality shall cooperate fully with County in all CDBG Program efforts planned and performed hereunder and does hereby allow and permit County to undertake or assist in undertaking essential community development and housing assistance activities within Municipality as may be approved and authorized in County's CDBG Plans, Agreements and/or Contracts, including the AAP, when required.
- B. Delegation of Administrative and Supervisory Control.** Municipality acknowledges that County is ultimately responsible to HUD for the supervision and administration of any funds received by the Urban County or Participating Jurisdiction under the CDBG Program.
- C. Subrecipient Agreements.** Pursuant to CDBG Regulations, as published in 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.501(b), Municipality is subject to the same requirements applicable to "subrecipients," including the requirement of a written agreement as set forth in 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.503. Additionally, County shall use Sub-recipient Agreements for all projects administered on behalf of Municipality and shall notify Municipality of individual project and/or Activity County approvals. The Agreements may contain the Project Name, Project Purpose, Scope of Service, Project Description, Performance Measures, Staffing and Description of System Delivery, Project Budget, Time of Performance, Reporting Requirements, Labor Standards requirements (if any), Environmental Review Requirements and other Financial Information. This Agreement shall govern such elements as PI, Reversion of Assets, Records, Reports and Asset Management.

D. Project Timelines. The timeline for a project or activity shall commence when County provides written notification to Municipality of proposal/project/activity approval and authorization by County and/or HUD and a fully executed Subrecipient Agreement. Municipality shall submit to County, no less frequent than annually, formal Municipality proposals, including a timeline and budget for each project or activity. The timeline shall specify the length of time needed for each phase through the completion of the project or activity. Municipality shall comply and/or require its contractors and/or sub-contractors to comply with the timelines submitted and Municipality shall allocate the funds received hereunder accordingly. Municipality understands that failure to comply with the timelines may result in cancellation of a project or activity and/or the loss of CDBG funding, unless County determines that extenuating circumstances beyond Municipality control exist, permitting the project to proceed and be completed in a reasonable time. Unobligated or unexpended funds not used by Municipality shall be transferred to the allocation formula for redistribution. County will review all CDBG projects and activities to determine whether they are being carried out in a timely manner as required by CDBG Regulations, 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.902.

E. Payment Process.

1. Applications for Funding. Before County distributes any funds to Municipality under this Agreement, Municipality shall submit to County an application for funding, which shall be in the form and format specified by County and in compliance with HUD regulations.

F. Non-Appropriation Clauses. Municipality agrees that every contract to which it is a party involving the use of CDBG funds allocated hereunder shall include a non-appropriation clause. Such clause shall state that the funding therefore is contingent upon the continuing allocation and availability of CDBG funding and not upon the availability of County General Funds.

1. Accounting Standards. Municipality's financial management system shall be in compliance with the standards specified in OMB Circular A-87. In addition, Municipality shall comply with OMB Circular A-110, Attachment F, and agrees to adhere to the accounting principles and procedures required therein, utilize adequate internal controls, and maintain necessary source documentation for all costs incurred.

G. Expenditure Restrictions. All CDBG funds approved by HUD for expenditure under County's Grant Agreement, including those that are identified for Municipality projects and activities, shall be allocated to the specific projects and activities described and listed in Municipality's proposal for funding, Agreements, and Contracts; such funds shall be used for no other purposes. No project, activity, or the amount allocated to a given project or activity may be changed without the written concurrence of County and/or HUD, as required.

H. Additional Spending Limitations. Municipality understands that, while this Agreement is in effect, it may not apply for grants under the “Small Cities” or State CDBG Programs and HOME consortium with other local governments, except through the County regardless whether the County receives a HOME allocation for the Federal fiscal years during which it is participating in the Urban County’s CDBG Program.

I. Municipality as Independent Contractor. Municipality shall be responsible for the direct day-to-day supervision and administration of the projects and activities for which it receives funding under this Agreement. As such, Municipality shall be deemed to be acting as an independent contractor and not as an employee of County. Municipality shall be solely and entirely responsible for its acts and omissions, and the acts and omissions of its elected officials, employees, servants, contractors, and subcontractors during the term and performance of this Agreement. No elected official, employee, servant, contractor, or subcontractor of Municipality shall be deemed to be an employee, servant, contractor, or subcontractor of County because of the performance of any services or work under this Agreement. Municipality, at its expense, shall procure and maintain workers’ compensation insurance and unemployment compensation insurance as applicable and/or required by law. **Pursuant to the Workers’ Compensation Act, § 8-40-202(2)(b)(IV), C.R.S., as amended, Municipality understands that it and its elected officials, employees, and agents are not entitled to workers’ compensation benefits from County. Municipality further understands that it is solely obligated for the payment of Federal and State income tax on any moneys earned pursuant to this Agreement, as applicable. Unemployment insurance benefits will not be available to Municipality unless unemployment coverage is provided by the Municipality or some other entity.**

J. Excessive Force. Municipality has adopted and is enforcing:

1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and;
2. A policy enforcing applicable state and local laws against physically barring entrance to or exit from a facility or location that is the subject of such non-violent civil rights demonstrations within its jurisdiction.

K. Record Retention. Municipality shall maintain records and accounts of the funds it receives hereunder in accordance with accepted accounting procedures and any applicable Federal and State laws and regulations. Municipality will provide full access to these records to County, the Secretary of HUD or the Secretary’s designee, the Office of Inspector General, and/or the General Accounting Office, so that compliance may be confirmed regarding the expenditure of funds pursuant to this Agreement. Municipality further agrees to provide County, upon request, a copy of any audit records pertaining to Municipality’s CDBG Program operations during the term of this Agreement.

Municipality shall retain all records pertaining to this Agreement for a period of ten (10) Federal fiscal years following the termination of this Agreement.

- L. **Termination Asset Management.** If Municipality terminates its participation in the Urban County CDBG Program, any assets acquired under this Agreement or from CDBG Program funding shall be managed or disposed of in accordance with 24 C.F.R. Volume 1, Subtitle A, Part 85 and any other applicable HUD and/or Federal regulations.
- M. **Compliance With Local Laws.** All responsibilities of Municipality enumerated herein shall be subject to applicable State statutes and regulations and Municipality ordinances, resolutions, and rules and regulations insofar as they apply to projects or activities located within Municipality.

III. RESPONSIBILITIES OF COUNTY:

- A. **Administrative Oversight.** County, as a designated Urban County and Participating Jurisdiction, is ultimately responsible for the administrative oversight and supervision of all funds. As such, it is responsible for ensuring that all funds allocated to Municipality are expended in accordance with the AAP, all Agreements and/or Contracts, and all applicable Federal, State, and local laws, ordinances, resolutions, regulations, and laws pertaining to this Agreement. It is the intent of County to exercise only that degree of administrative and supervisory control concerning Municipality projects and activities as necessary to comply with such requirements and in accordance with the provisions of this Agreement and any Subrecipient Agreement.
- B. **Distribution of Funds.** The distribution of CDBG funds between County and Municipality shall be determined as follows:
 - 1. **Administrative Allocation.** County shall retain up to twenty percent (20%) of the total CDBG Program funds allocated to County for the purpose of general oversight, management, coordination and related costs. The expenditure of these funds shall be within the sole discretion of County for the aforementioned purposes.
 - 2. **Allocations to Participating Jurisdictions.** The funds remaining after the subtraction of the administrative allowance outlined above shall be made available to the County and Participating Jurisdictions.
 - 3. **Application Compliance.** All applications for funds must comply with all applicable Federal laws and regulations before any funds may be distributed.
 - 4. **Benefit to Low and Moderate Income Residents.** CDBG National Objectives require that at least seventy (70%) of CDBG funds utilized must principally benefit low-to-moderate-income residents. County and Municipality agree to utilize their CDBG Program allocations each year in accordance with CDBG Program National Objective requirements by allocating at least seventy (70%) percent of their funds

toward projects or activities that principally benefit low-to-moderate income residents. In preparing applications for funding, Municipality shall also take into consideration provisions for the elimination of slums or blight and provisions to meet urgent community development needs that are a threat to public health and safety and have become known or serious within the last eighteen (18) months, which are also part of the CDBG Program National Objectives.

IV. MUTUAL RESPONSIBILITIES AND MISCELLANEOUS PROVISIONS:

- A. Compliance With Federal Laws and Regulations.** The Parties shall take all actions to do all things that are appropriate and required to comply with the applicable provisions of the grant agreements received from HUD by County in which Municipality is included. These include but are not limited to: the Act, as most recently amended, including all associated regulations, rules, guidelines, and circulars promulgated by the Federal departments, agencies, and commissions relating to the CDBG Program; the Davis-Bacon Act, as applicable; Section 3, as applicable; Minority-Owned Businesses/Women-Owned Businesses, as applicable; the Contract Work Hours and Safety Standards Act; Title VI of the Civil Rights Act of 1964; Title VIII of the Civil Rights Act of 1968; the Housing and Community Development Act of 1974; The Fair Housing Act; the Uniform Federal Accessibility Standards (UFAS); the Americans With Disabilities Act (ADA); and the Residential Lead-Based Paint Hazard Reduction Act of 1992, as amended, and any associated regulations and rules. Additionally, in accordance with 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570, no employee, official, agent or consultant of the Municipality shall exercise any function or responsibility in which a conflict of interest, real or apparent, would arise. The Parties shall take all actions necessary to assure compliance with County's Urban County certification required by section 104(b) of Title I of the Housing and Community Development Act of 1974, as amended, including Title VI of the Civil Rights Act of 1964, the Fair Housing Act, section 109 of Title I of the Housing and Community Development Act of 1974, and other applicable laws.
- B. Governmental Immunity.** County and Municipality are "Public Entities" as defined under the Colorado Governmental Immunity Act, § 24-10-101, *et seq.*, C.R.S., as amended. Nothing in this Agreement shall be construed to waive or in any manner limit any of the protections or immunities afforded thereunder.
- C. Fair Housing.** County is prohibited from funding activities that do not comply with HUD's policies and regulations concerning fair housing. Municipality agrees to affirmatively further fair housing. Municipality agrees not to take any actions pursuant to funding it receives under this Agreement that would result in County being in noncompliance with its Fair Housing Certification. Municipality acknowledges that noncompliance by Municipality may constitute noncompliance by County, which may provide cause for funding sanctions or other remedial actions by HUD. Urban County funding shall not be used for activities in, or in support of, any locality that does not affirmatively further fair housing within its own jurisdiction or that impedes County's actions to comply with County's Fair Housing Certification.

D. Reporting. Municipality will file all reports and other information necessary to comply with applicable Federal laws and regulations as required by County and HUD. This includes providing to County information necessary to complete the Consolidated Annual Performance and Evaluation Report (CAPER) in a timely fashion. Requirements will be specified in individual Agreements and/or Contracts. County shall be responsible for confirming the compliance of Municipality projects with applicable Federal laws and regulations. County shall further be responsible for maintaining proper documentation of County's administrative expenses and for determining that all necessary reports and information are filed with HUD and other applicable Federal agencies in a timely fashion.

1. Support of Nonprofit Organizations. County recognizes nonprofit organizations as being valuable partners in addressing the needs of low and moderate-income citizens. Municipality is encouraged to provide financial support utilizing its General funds, CDBG funds, and other available funds to support nonprofit organizations that serve low-income residents within the Urban County and/or Municipality. CDBG funds should supplement activities above and beyond what local Municipality funds normally support; they are not meant to displace use of local support.

2. Termination. This Agreement may only be terminated as provided herein or as otherwise provided by Federal, State, or local law, ordinance, resolution, regulation, or rule.

E. Entire Agreement. This writing constitutes the entire Agreement between the Parties with respect to the subject matter herein, and shall be binding upon the Parties, their officers, employees, agents and assigns and shall inure to the benefit of the respective survivors, heirs, personal representatives, successors and assigns of the Parties.

F. No Third-Party Beneficiary Enforcement. It is expressly understood and agreed that the enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties and nothing in this Agreement shall give or allow any claim or right of action whatsoever by any other person not included in the Agreement. It is the express intention of the Parties that any entity other than the Parties receiving services or benefits under this Agreement shall be incidental beneficiary only.

G. Severability. If any term or condition of this Agreement shall be held to be invalid, illegal, or unenforceable, this Agreement shall be construed and enforced without such provision to the extent that this Agreement is then capable of execution within the original intent of the Parties.

H. Modification and Breach. This Agreement contains the entire Agreement and understanding between the Parties and supersedes any other Agreements concerning the subject matter of this transaction, whether oral or written. No modification, amendment, notation, renewal, or other alteration of or to this Agreement shall be deemed valid or of any force or effect whatsoever, unless mutually agreed upon in writing by the Parties. No

breach of any term, provision, or clause of this Agreement shall be deemed waived or excused, unless such waiver or consent shall be in writing and signed by the Party claimed to have waived or consented. Any consent by any Party, or waiver of, a breach by any other Party, whether express or implied, shall not constitute a consent to, waiver of, or excuse for any other different or subsequent breach.

- I. **Prohibition of Fund Use.** The Parties may not sell, trade, or otherwise transfer all or any portion of such funds to another such metropolitan city, urban county, unit of general local government, or Indian tribe, or insular area that directly or indirectly receives CDBG funds in exchange for any other funds, credits or non-Federal considerations, but must use such funds for activities eligible under title I of the Act. This requirement is contained in the Transportation, Housing and Urban Development, and Related Agencies Appropriations Act.
- J. **Legal Opinion.** The terms and provisions of this agreement are fully authorized under State and local law and the agreement provides full legal authority for the county.
- K. **Notices.** All notices required herein shall be mailed via First Class Mail to the Parties' representatives at the addresses set forth below:

MUNICIPALITY:

Tracie Crites
401 Locust Street
P.O. Box 435
Frederick, CO 80530

COUNTY:

Don Sandoval
Weld County
1150 "O" Street
P.O. Box 758
Greeley, CO 80632

IN WITNESS WHEREOF, County and Municipality have duly executed this Agreement, which shall become effective as of the latest date written below.

ATTEST:

TOWN OF FREDERICK, COLORADO

By: _____,
Clerk

By: _____
Tracie Crites, Mayor

ATTEST:

WELD COUNTY Clerk to the Board

**COUNTY OF WELD, STATE OF
COLORADO, by and through the BOARD
OF COUNTY COMMISSIONERS OF THE
COUNTY OF WELD**

By: _____
(Deputy) Clerk to the Board

By: _____
Mike Freeman, Chair



OFFICE OF BOARD OF COMMISSIONERS
PHONE: 970-336-7204
FAX: 970-336-7233
1150 O STREET
P.O. BOX 758
GREELEY, COLORADO 80632

March 20, 2020

The Honorable Tony Carey
Mayor of Frederick
P.O. Box 435
Frederick, CO 80530

Dear Mayor Carey,

We are pleased to inform you the U.S. Department of Housing and Urban Development (HUD) notified Weld County that it may qualify for designation as an Urban County. Weld County intends to seek that designation and, if successful, will be eligible to receive an allocation of Community Development Block Grant (CDBG) funds for federal fiscal years 2020-21.

The goal of the CDBG program is to provide funds for decent housing and suitable living environments, along with the expansion of economic opportunities, principally for low- and moderate-income persons.

HUD requires municipalities within Weld County that are not Entitlement Cities to notify HUD and the county of its intent to be included or excluded for participation in Weld County's designation of an Urban County. This designation will allow Weld County to receive nearly one million dollars for each of the next three years to be used to principally benefit low- and moderate-income persons both in your community and in unincorporated portions of the county through a grant program operated by the county.

If your municipality is included in the Urban County designation, HUD requires an intergovernmental agreement (IGA), called a Cooperation Agreement, to be made with Weld County. As a result of participation in the Urban County, the local government will be exempt from applying for CDBG funding from the State of Colorado or participating in other HOME or ESG consortiums. Should Weld County receive a percentage of HOME or ESG funding, incorporated municipalities participating in the CDBG program are automatically included in a HOME or ESG consortium with Weld County.

HUD requires municipalities to notify Weld County and HUD in writing of their intent to be included or excluded from the Urban County by June 2, 2020. We would appreciate the opportunity to further discuss this program with the you. We request you send us the signed Intergovernmental Agreement as soon as possible. Please feel free to contact Don Sandoval CDBG Manager at dosandoval@weldgov.com or 1150 O Street, PO Box 758, Greeley, CO 80632 with any questions.

Sincerely,

BOARD OF COUNTY COMMISSIONERS

A handwritten signature in blue ink that reads 'Mike Freeman'.

Mike Freeman, Chair

c: Don Sandoval, CDBG Manager

CDBG Urban County Entitlement

What does your municipality need?



Weld County is eligible to become an Urban County according to the U.S. Department of Housing and Urban Development (HUD) because our population is over 200,000.

What is the CDBG program?

Weld County will receive Community Development Block Grant (CDBG) funds of approximately \$960,200 in 2021.

Funds must meet three national objectives:

- Principally benefit low- and moderate-income persons
- Prevent and/or eliminate slums and blights
- Satisfy an urgent need in a community

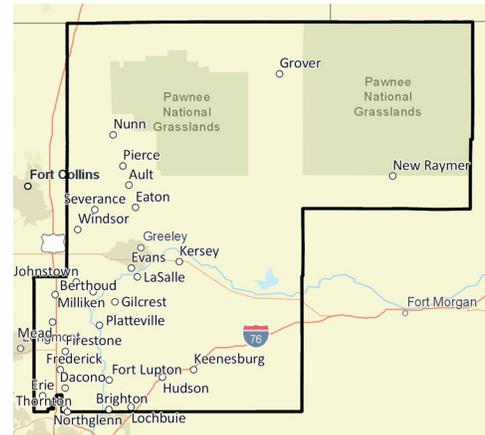
What does this mean for you?

Your municipality might have areas where improvements are needed.

Funds may be used to improve infrastructure, utilities and housing related to sidewalks, roofing and more.

At least 70% of funds Weld County receives must benefit low- and moderate-income persons.

Municipalities must let HUD know of its intent to participate or not participate in Weld County's Urban County designation. Those participating may apply for funds through the county CDBG program for eligible activities. This participation means the municipality will be exempt from applying for state CDBG funds.



Why should you sign on?

- You'll be working with people you know, people you understand and municipalities you share borders with.
- You won't be competing with other counties across the state to receive funding for improvement projects.
- You can help low- and moderate-income persons in your community and neighboring communities. Come together to improve our county. It's simply the Weld County way.

What's next?

Weld County will submit a Consolidation Plan and Action Plan along with Cooperation Agreements with municipalities to HUD.

We welcome the opportunity to meet with each municipality to discuss all aspects of this opportunity as well as needs in your communities.



Don Sandoval, Weld County CDBG Manager
(970) 400-4480 • dosandoval@weldgov.com

**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-41**

**A RESOLUTION OF THE TOWN OF FREDERICK, COLORADO
AUTHORIZING THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL
AGREEMENT WITH WELD COUNTY FOR COMMUNITY DEVELOPMENT
BLOCK GRANT PROGRAM**

WHEREAS, Weld County has a Community Development Block Grant Program to provide financial assistance to local governments to conduct community development and housing assistance activities; and

WHEREAS, in order for Frederick to participate in the program it must enter into an intergovernmental agreement with Weld County in which the Town agrees to cooperate with the County to undertake these essential community development and housing assistance activities; and

WHEREAS, Frederick is willing to enter into an intergovernmental agreement with Weld County for those stated purposes.

NOW THEREFORE, BE IT RESOLVED by the Board of Trustees of the Town of Frederick, Colorado, that:

Section 1. The Intergovernmental Agreement with Weld County is approved and the Mayor is authorized to execute it.

Section 2. Effective Date. This resolution shall become effective immediately upon adoption.

Section 3. Repealer. All resolutions, or parts thereof, in conflict with this resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 4. Certification. The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

**INTRODUCED, READ, PASSED, AND ADOPTED THIS 12TH DAY OF MAY
2020.**

ATTEST:

TOWN OF FREDERICK

By _____
Meghan C. Martinez, CMC, Town Clerk

By _____
Tracie Crites, Mayor



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Consideration of Eagle Business Park Filing 4B, Lot 3 Conditional Use for Colorado West Equipment, Inc.

Agenda Date: Town Board Meeting – May 12, 2020

Attachments:

- a. Proposed Site Plan
- b. April 21, 2020 Planning Commission Minutes
- c. PCR-2020-04A
- d. Resolution 20-R-42

Finance Review: _____
Finance Director

Submitted by: _____
Maureen Welsh
Planner I

Approved for Presentation: _____
Begley
Town Manager

Quasi-Judicial

Legislative

Administrative

Summary Statement:

This is a conditional use request for a 16,019 square foot office and warehouse building to be used for bus sales and light maintenance.

Detail of Issue/Request:

Applicant: Joel Paas, Rocky Ridge Civil Engineering

Owners: Jeffrey P. Koza and O.B. Begley

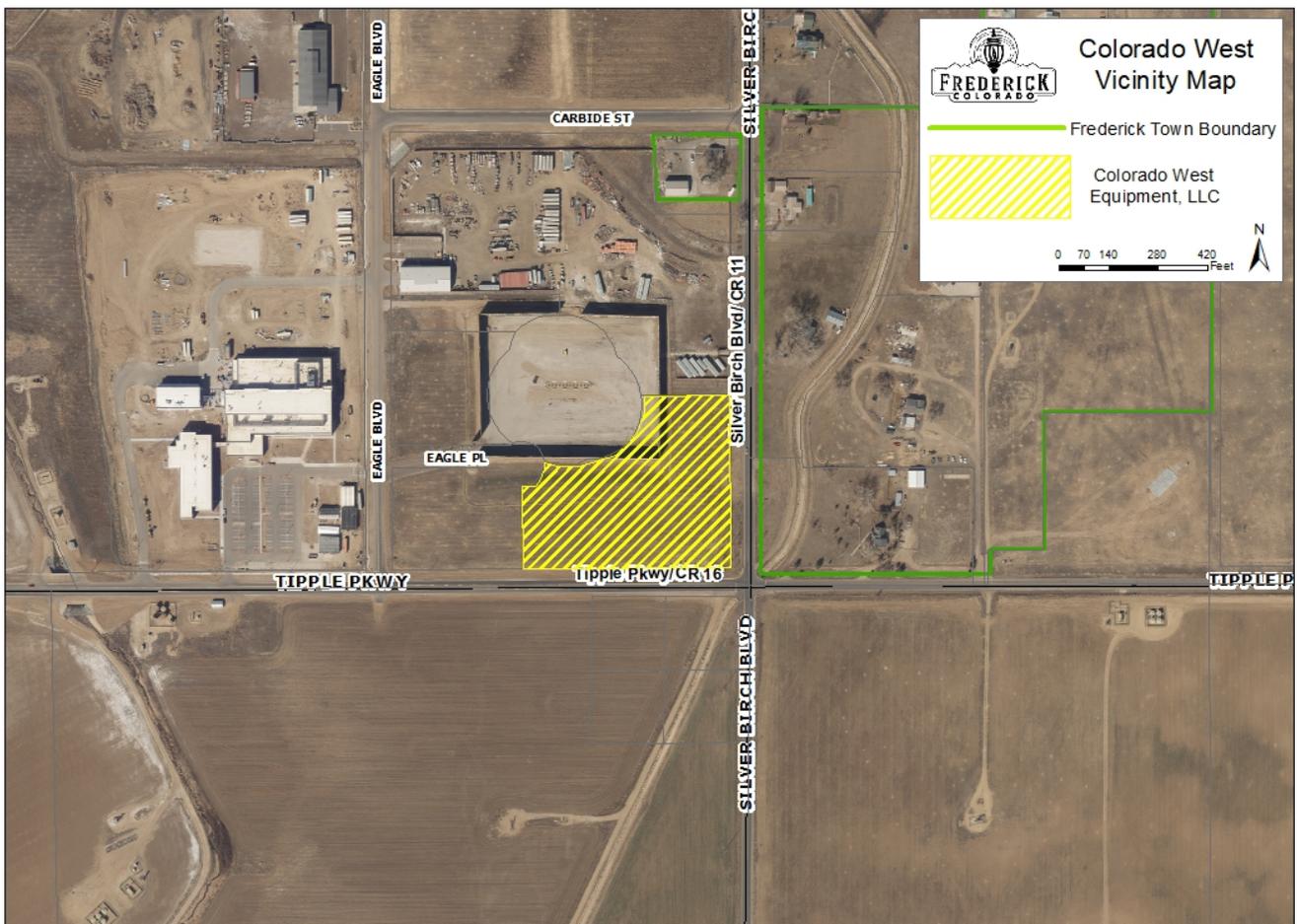
Built on What Matters.

Location and Zoning: The property is generally located at the northwest corner of Tipple Parkway and Silver Birch Boulevard. The zoning is Industrial (I). See vicinity map below.

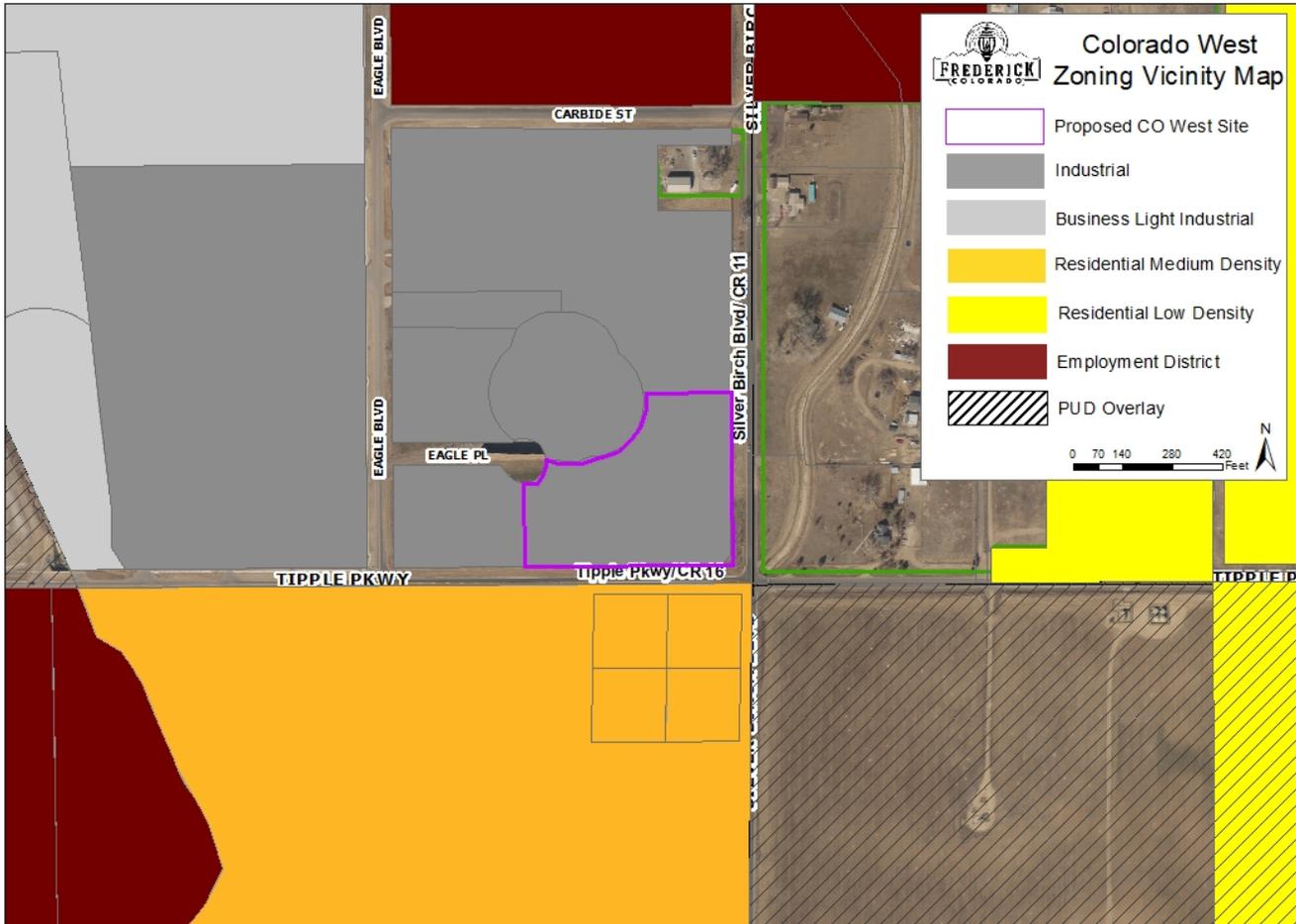
Surrounding Land Uses and Zoning:

- North Land use: Oil and gas facility and outdoor storage
Zoning: Industrial (I)
- South Land use: Vacant Land (Nelson Annexation)
Zoning: Residential Medium Density (R-2)
- West Land use: Vacant Land
Zoning: Industrial (I)
- East Land use: Residential
Zoning: Agricultural (Weld County)

Vicinity Map:



Zoning Vicinity Map:



Background Information:

The property is platted within Eagle Business Park Filing Number 4B. The property is approximately 6 acres and is zoned Industrial (I).

Request:

This is a conditional use request for Colorado West Equipment, Inc., which is a bus sales and service business. Auto sales are a conditional use according to Land Use Code (LUC) Section 3.4 and Table 3.1, Table of Permitted Uses. The review criteria for a conditional use will be further explored below. Auto sales are permitted as a conditional use in the Town's Community Commercial, Mixed Use Highway 52, Employment, Business Light Industrial and Industrial Zone Districts.

The applicant is proposing a new 16,019 square foot building with a recycled asphalt yard for bus storage and display.

Conditional Use Review Criteria:

The Town of Frederick Land Use Code sets forth the following review criteria for the proposed planning action.

1. The conditional use will satisfy all applicable provisions of this Code and subdivision regulations unless a variance is being requested.

Staff Comment: All provisions of the code are being met. No variances are being requested.

2. The conditional use will conform with or further the goals, policies and strategies set forth in the Comprehensive Plan.

Staff Comment: The proposed conditional use is relevant to the following excerpt from the Comprehensive Plan Commercial and Industrial Areas:

Goal 1: Leverage Frederick's strategic location and developable areas to promote employment growth and achieve a jobs-housing balance.

Goal 4: Ensure the desired character of the community design is supported within the Community Design Principles and Development Standards.

3. The conditional use will be adequately served with public utilities, services and facilities (i.e., water, sewer, electric, schools, street system, fire protection, public transit, storm drainage, refuse collection, parks system, etc.) and not impose an undue burden above and beyond those of the permitted uses of the district.

Staff Comment: Town engineers and outside service providers have reviewed the site plan application and found it acceptable to move forward. Utilities such as water and sewer are already existing on site.

4. The conditional use will not substantially alter the basic character of the district in which it is located or jeopardize the development or redevelopment potential of the district.

Staff Comment: The property is zoned Industrial and the intent of this district is to provide a location for a variety of employment opportunities such as manufacturing, warehousing and distributing, indoor and outdoor storage and a wide range of commercial and industrial operations. The proposed use will provide a location for bus sales and light maintenance. It will not substantially alter the basic character of the Industrial district or jeopardize the development or redevelopment potential of the district.

5. The conditional use will result in efficient on- and off-site traffic circulation which will not have a significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.

Staff Comment: The applicant's traffic consultant reviewed the site and proposed use, creating a trip generation analysis for the proposed development. The analysis provides that the development is expected to generate 112 daily trips with 15 AM peak trips and 16 PM peak hour trips. The existing roadway system is able to accommodate this number of trips. The property will be accessed from Eagle Place, at the northwest corner of the property.

6. Potential negative impacts of the conditional use on the rest of the neighborhood or of the neighborhood on the conditional use have been mitigated through setbacks, architecture, screen walls, landscaping, site arrangement or other methods. The applicant shall satisfactorily address the following impacts:

- (a) Traffic; and
- (b) Activity levels

Staff Comment: There will be minimal traffic impact with this use and it will have low levels of activities outside of the building.

- (c) Light

Staff Comment: The applicant has proposed full cut-off and downward facing lighting consistent with the requirements of the Frederick Land Use Code.

- (d) Noise

Staff Comment: The only anticipated added noise impact with this use would be from vehicles entering and exiting the site.

- (e) Odor

Staff Comment: There are no unusual odors created by this business' use.

- (f) Building type, style and scale

Staff Comment: The proposal is a two-story office/warehouse that is 16,019 square feet in size. The exterior is comprised of stucco panels and metal siding. The proposed building meets the architectural standards found in Section 2.18.5 of the Frederick Land Use Code.

- (g) Hours of operation

Staff Comment: The hours of operation are anticipated to be between 8:00 a.m. and 5:00 p.m.

- (h) Dust

Staff Comment: There is no excessive dust anticipated with this use.

- (i) Erosion control.

Staff Comment: Erosion control will be provided by silt fencing, straw wattles, and a vehicle tracking pad during construction.

Public Notice:

This project was properly noticed according to the requirements of Section 4.5 of the Frederick Land Use Code. The neighborhood meeting was held on August 1, 2019, from 5:30 p.m. to 6:00 p.m. A neighboring property owner came to express their curiosity with the project but voiced no concerns with the proposed development.

Planning Commission:

A Planning Commission meeting was held on April 21, 2020. The Commission had questions about how Colorado West Equipment, Inc. operates and general curiosities about the bus sales business. After all questions were addressed, the members of the Planning Commission found the proposal to be acceptable to move forward to the Board of Trustees. With a unanimous vote, the Planning Commission recommended approval with PCR-2020-04A.

Legal Comments:

The application has been reviewed by the Town Attorney, whose comments have been incorporated accordingly.

Alternatives/Options:

The Board of Trustees may recommend approval of the request, denial of the request, or approval of the request with conditions.

Financial Considerations:

Not applicable.

Staff Recommendation:

Staff recommends approval of the request with Resolution 20-R-42.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF FREDERICK DESIGN CRITERIA & CONSTRUCTION REQUIREMENTS AND ALL OTHER RULES AND REGULATIONS OF THE TOWN.
- WHEN REQUIRED, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT LEAST 48 HOURS PRIOR TO THE INITIATION OF CONSTRUCTION. THE CONTRACTOR, DEVELOPER, TOWN, DESIGN ENGINEER, AND ANY INTERESTED UTILITY REPRESENTATIVES SHALL BE IN ATTENDANCE.
- THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO THE INITIATION OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR'S OPERATIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES AT HIS EXPENSE.
- CALL FOR LOCATES AT 1-800-922-1987.
- CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES, ONE (1) SIGNED COPY OF PLANS APPROVED BY THE TOWN OF FREDERICK.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE LICENSED WITH THE TOWN OF FREDERICK.
- THE TOWN OF FREDERICK OR THE ENGINEER ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, DURING CONSTRUCTION. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREA, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF FREDERICK AND THE DESIGN ENGINEER AT THE TIME OF THEIR OCCURRENCE.
- IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO RESOLVE CONSTRUCTION PROBLEMS WITH THE TOWN OF FREDERICK DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE TOWN OF FREDERICK, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVES SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE TOWN OF FREDERICK FOR REVIEW AND APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS, THE TOWN OF FREDERICK, FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK, ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE TOWN OF FREDERICK OR THE ENGINEER.
- EROSION CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AS APPROVED BY THE ENGINEER AND THE TOWN OF FREDERICK. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PER SECTION M-107-A OF THE COLORADO DIVISION OF HIGHWAYS M AND S STANDARDS SHALL BE INSTALLED DURING CONSTRUCTION AS DEEMED NECESSARY BY THE TOWN OF MEAD CONSTRUCTION INSPECTOR OR THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG MEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH TOWN STANDARDS. CONTRACTOR SHALL NOTIFY ALL AFFECTED PARTIES, TOWN, UTILITY, AND PROJECT ENGINEER, A MINIMUM OF 72 HOURS PRIOR TO ANY WATER SERVICE INTERRUPTION, THIS INCLUDES THE LEFT HAND WATER DISTRICT - PHONE: (303) 530-4200.
- ROCKY RIDGE CIVIL ENGINEERING ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH LAND OWNERS, TOWN AND OTHER PARTIES AFFECTED BY HIS OPERATIONS.
- CONTRACTOR SHALL SAW-CUT JOINTS ABUTTING EXISTING PAVEMENT TO PROVIDE A NEAT, UNIFORM, STRAIGHT LINE ALONG STABLE PAVEMENT.
- HOT BITUMINOUS PAVEMENT SHALL BE IN COMPLIANCE WITH CDOT SPECIFICATIONS.
- ALL CONCRETE SHALL BE CLASS A.
- COMPACTION IN ROADWAYS, DITCH CROSSINGS, UTILITY CROSSINGS AND WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE 95% OF OPTIMUM DENSITY AS DETERMINED BY AASHTO T180 OR T99 AS APPLICABLE FOR THE SOIL TYPE.
- CONTRACTOR SHALL REPAIR, AND REPLACE IF NECESSARY, THOSE PORTIONS OF EXISTING ROADS AND/OR TRAILS WHICH ARE DISTURBED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. REPAIRS SHALL BE MADE IN ACCORDANCE WITH THE TOWN OF FREDERICK REGULATIONS AND MEET ALL APPLICABLE SAFETY REGULATIONS AND STANDARDS.
- ALL DISTURBED AREAS WITHIN THE TOWN R.O.W. ARE TO BE RESEEDED AFTER FINAL GRADING, AT THE DISCRETION OF THE TOWN OF FREDERICK. AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" OF TOP SOIL AND SHALL BE RE-SEEDDED. THE FOLLOWING TYPES AND RATES SHALL BE USED:

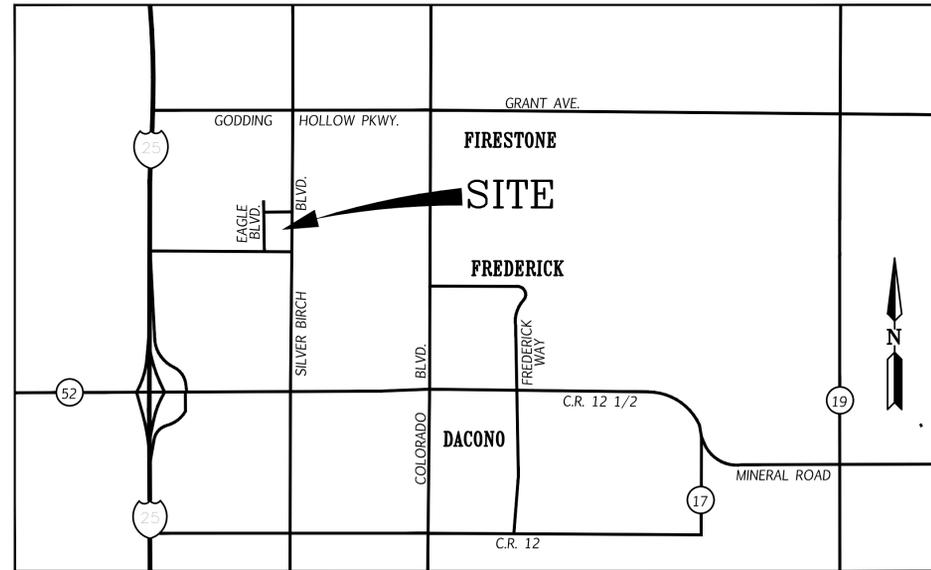
COMMON NAME	LBS BOTANICAL NAME	PLS/ACRES
Blue gramma v. n.m. native	Bouteloua	3
Smooth brome v. manchar	Bromus inermis	2
Western wheatgrass v. arriba	Panicopyrum smithii	5
Little bluestem	Schizachyrium scoparium	2
Buffalo Grass (treated)	Buchloe dactyloides	4
TOTAL		16

COMMERCIAL FERTILIZER	ANALYSIS (%)	LBS AVAILABLE
Nitrogen	18	45
Phosphorus	46	115

SEEDING APPLICATION: DRILL SEED OR HAND BROADCAST .25" - .50" INTO TOPSOIL.
MULCHING REQUIREMENT AND APPLICATION: 2 TONS STRAW MULCH PER ACRE MECHANICALLY OR HAND CRIMPED INTO TOPSOIL.

- THE TOWN OF FREDERICK OR THE ENGINEER EXERCISES NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT BUILDING COMPONENTS, SCAFFOLDING, FORMS OR ANY OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME.
- ALL IMPROVEMENTS WILL BE ACCURATELY SURVEYED AND STAKED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THEIR CONSTRUCTION.
- ALL WORK SHALL BE INSPECTED BY THE TOWN'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN, IN HIS OPINION, THE TOWN'S RULES AND REGULATIONS, THESE SPECIFICATIONS OR PROPER CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO.
- THE TOWN OF FREDERICK SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.
- ALL REQUIRED PERMITS FROM THE TOWN OF FREDERICK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL SEWER LINE SHALL BE PVC PIPE, SDR 35, ASTM D3034.
- ALL WATERLINE UP TO, AND INCLUDING, 12" DIAMETER SHALL BE PVC PRESSURE PIPE, IN ACCORDANCE WITH AWWA C900, PRESSURE CLASS 150.
- ALL WATERLINE FITTINGS FOR PVC PRESSURE PIPE SHALL BE POLY-WRAPPED MECHANICAL JOINT, DUCTILE IRON.
- WATERLINE BEDDING SHALL BE SQUEEGEE MATERIAL, 100% BY WEIGHT SHALL PASS 3/8" SIEVE, 0% TO 5% SHALL PASS NO. 200 SIEVE.
- DEFLECTION OF PIPE SHALL CONFORM TO AWWA AND/OR 80% OF MANUFACTURES RECOMMENDED MAXIMUM DEFLECTION WHICHEVER IS MORE STRINGENT.
- PROVIDE CONCRETE REACTION BLOCKING AT ALL TEES, BENDS, PLUGS, AND HYDRANTS PER TOWN OF FREDERICK SPECIFICATIONS.
- WATER AND SANITARY SEWER SERVICE LINES SHALL HAVE A MINIMUM 10' HORIZONTAL SEPARATION, PER THE UNIFORM PLUMBING CODE, LATEST REVISION THEREOF.
- ALL HANDICAP RAMPS ARE TO MEET ADA STANDARDS WHICH INCLUDE INSTALLING DETECTABLE RAISED PANELS.
- ALL CULVERT PIPE SHALL BE RCP, CLASS III, ASTM C 76 WITH R-4 CURCH.
- RESTORE OFFSITE IMPROVEMENTS DISTURBED BY CONSTRUCTION ACTIVITY, SUCH AS DRIVEWAYS, FENCES, CULVERTS, SIGNAGE, ETC. TO ORIGINAL CONDITION, OR BETTER AS REQUIRED.
- PROVIDE CONCRETE REACTION BLOCKS AND "MEGA-LUG" MECHANICAL RESTRAINT, ON PIPE LENGTH EACH SIDE, AT TEES, BENDS, PLUGS AND HYDRANTS.
- AS-BUILT DRAWINGS, AS REQUIRED, ARE TO BE SUBMITTED PRIOR TO THE PROBATIONARY ACCEPTANCE OF THE CONSTRUCTION. CONTRACTOR TO MAINTAIN A CURRENT UPDATED REDLINE AS-BUILT SET DURING CONSTRUCTION AND HAVE AVAILABLE FOR REVIEW.

LOT 3, EAGLE BUSINESS PARK, FILING NO. 4B
4970 EAGLE PLACE, FREDERICK, CO
CONDITIONAL USE SITE PLAN



SHEET INDEX

- C1 COVER SHEET
- C2 SITE AND UTILITY PLAN
- C3 GRADING AND DRAINAGE PLAN
- C4 OVERALL GRADING AND STORMWATER MANAGEMENT PLAN
- C5 DETAILS
- C6 DETAILS
- C7 DETAILS
- LANDSCAPE PLANS
- PHOTOMETRIC PLANS
- EXTERIOR ELEVATIONS

BASIS OF BEARINGS

NORTH 00°08'30" EAST, BEING THE BEARING OF THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, AS DEFINED AND MEASURED BETWEEN THE MONUMENTS FOUND AND SHOWN HEREON.

BENCHMARK

N.G.S. STATION DESIGNATION "CHEVY"

A STANDARD NGS CAP (PUNCH HOLE TOP CENTER IN A STEEL ROD IN A GREASED SLEEVE ENCASED IN A PVC PIPE WITH A LOGO CAP SET IN A CONCRETE POST FLUSH WITH THE GROUND) AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF THE SOUTHBOUND EXT RAMP FROM INTERSTATE 25 WITH HIGHWAY 52 (MINERAL ROAD) IN FREDERICK, COLORADO.

PUBLISHED NAVD88 ELEVATION = 4997.693 FEET

FIRE FLOW DATA	
BUILDING TOTAL S.F.	16,122 S.F.
BLDG CONSTRUCTION TYPE	IIB
SPRINKLED	YES
FIRE FLOW REQUIRED	1,500 GPM
HYDRANTS REQUIRED	1

PARKING DATA					
USE	RATIO	AREA	AREA RATIO	SPACES REQUIRED	SPACES PROVIDED
OFFICE	1/300	5,580	18.6	19	
WAREHOUSE	1/1,250	10,063	8.0	8	
INDOOR SALES	1/200	376	1.9	2	
				29	29

INCLUDE ONE (1) VAN ACCESSIBLE HANDICAP SPACE

CERTIFICATE OF OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT JEFFREY P. KOZA AND O.B. BEGLEY BEING THE OWNERS OF CERTAIN LANDS IN FREDERICK, COLORADO DESCRIBED HEREIN, HAVE CAUSED A CONDITIONAL USE MAP AS AN AMENDMENT TO THE PERMITTED USES WITHIN THE APPLICABLE ZONING DISTRICT TO BE PREPARED FOR SAID LAND TO SHOW HOW THE LOT, PARCEL, OR TRACT WILL BE DEVELOPED.

LOT 3, EAGLE BUSINESS PARK, FILING NO. 4B

THIS DESCRIBED CONDITIONAL USE SITE PLAN MAP CONTAINS 6.00 ACRES MORE OR LESS, TOGETHER WITH AND SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY EXISTING AND/OR OF PUBLIC RECORD. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED HEREIN SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS, AND ASSIGNS. THE SIGNATURE OF ANY REPRESENTATIVE OF ANY PARTNERSHIP OR CORPORATE ENTITY INDICATES THAT ALL REQUIRED PARTNERSHIP OR CORPORATE APPROVALS HAVE BEEN OBTAINED.

EXECUTED THIS _____ DAY OF _____ 20____, EXECUTED THIS _____ DAY OF _____ 20____.

OWNER _____ OWNER _____

STATE OF COLORADO) STATE OF COLORADO)
COUNTY WELD) SS)
COUNTY WELD) SS)

THE FOREGOING CERTIFICATE OF OWNERSHIP AND MAINTENANCE WAS ACKNOWLEDGED BEFORE ME BY _____ ACTING IN HIS CAPACITY AS OWNER _____ THIS _____ DAY, OF _____, 2020

WITNESS MY HAND AND SEAL _____ WITNESS MY HAND AND SEAL _____

MY COMMISSION EXPIRES _____ MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____ NOTARY PUBLIC _____

SURVEYING CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE CONDITIONAL USE MAP SHOWN HEREON IS A CORRECT DELINEATION OF THE ABOVE DESCRIBED PARCEL OF LAND. I FURTHER CERTIFY THAT THIS CONDITIONAL USE MAP AND LEGAL DESCRIPTION WERE PREPARED UNDER MY PERSONAL SUPERVISION AND IN ACCORD WITH APPLICABLE STATE OF COLORADO REQUIREMENTS ON THIS _____ DAY OF _____, 20____.

_____ BY SEAL

PLANNING COMMISSION CERTIFICATE

APPROVED BY THE FREDERICK PLANNING COMMISSION WITH PLANNING COMMISSION RESOLUTION 20____-____ THIS _____ DAY OF _____, 20____.

CHAIRMAN _____
PLANNING COMMISSION SECRETARY _____

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES

THIS CONDITIONAL USE SITE PLAN MAP IS TO BE KNOWN AS:

COLORADO WEST
LOT 3, EAGLE BUSINESS PARK, FILING NO. 4B

IS APPROVED AND ACCEPTED BY RESOLUTION NO. _____, PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF FREDERICK, COLORADO, HELD ON _____, 20____. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED HEREIN SHALL BE BINDING ON THE OWNER, ITS HEIRS, SUCCESSORS AND ASSIGNS.

MAYOR _____
TOWN CLERK _____

SITE DATA		
DESCRIPTION	AREA	AREA %
BUILDING	13,504 S.F.	5.2
PAVEMENT/WALKS	17,854 S.F.	6.8
LANDSCAPING/OPEN SPACE	143,042 S.F.	54.7
RECYCLED ASPHALT	87,120 S.F.	33.3
TOTAL AREA (S.F.)	261,520 S.F.	100.00
TOTAL AREA (AC.)	6.00 AC.	100.00

NO.	DATE	DESCRIPTION
3	02/17/20	RESUBMITTAL
2	07/15/20	RESUBMITTAL
1	11/25/19	RESUBMITTAL

Rocky Ridge Civil Engineering
420 21st Ave, Suite 101
Longmont, CO 80501
303.651.6626
http://rockyridgecivil.com

JOB NO
799-1

CAD NO
7991BASE

DATE
10/04/19

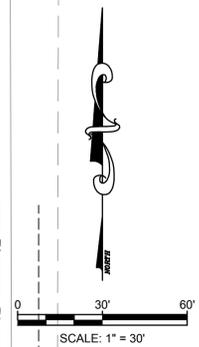
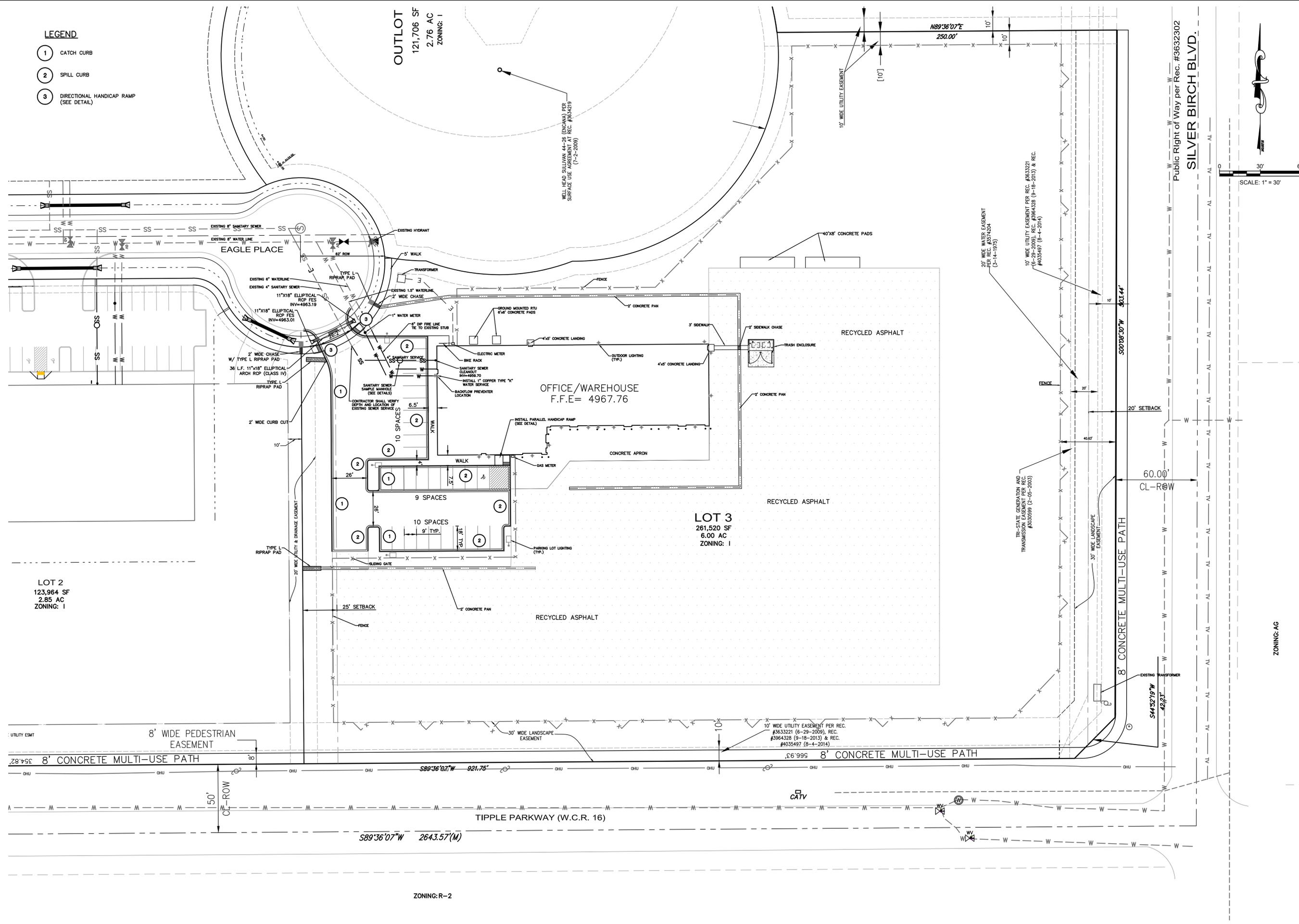
COVER SHEET

SHEET NO

C1

LEGEND

- 1 CATCH CURB
- 2 SPILL CURB
- 3 DIRECTIONAL HANDICAP RAMP (SEE DETAIL)



Public Right of Way per Rec. #3632302
SILVER BIRCH BLVD.

ZONING: AG

ZONING: R-2

NO.	DATE	DESCRIPTION	BY
2	01/15/20	RESUBMITTAL	JEP
1	11/25/19	RESUBMITTAL	JEP

Rocky Ridge Civil Engineering
 420 21st Ave, Suite 101
 Longmont, CO 80501
 303.651.8626
<http://rockyridgecivil.com>

COLORADO WEST		JOB NO	799-1
DATE	10/04/19	CAD NO	7991BASE
SITE & UTILITY PLAN			

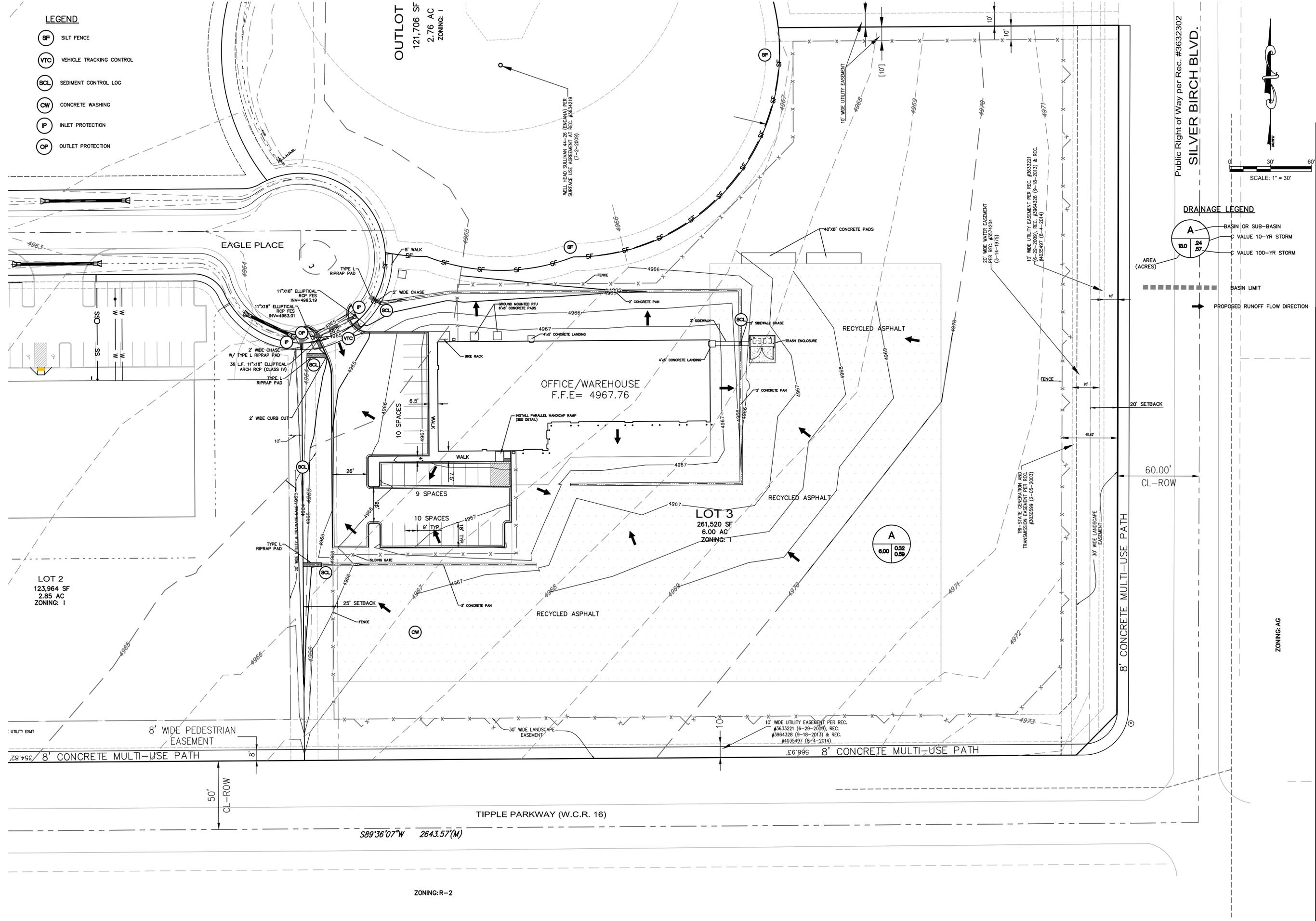
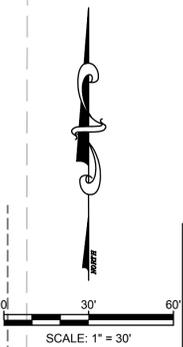
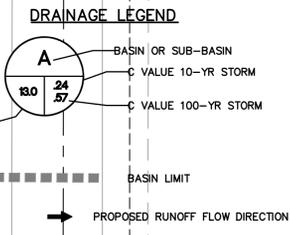
SHEET NO
C2

LEGEND

- SILT FENCE
- VEHICLE TRACKING CONTROL
- SEDIMENT CONTROL LOG
- CONCRETE WASHING
- INLET PROTECTION
- OUTLET PROTECTION

OUTLOT
121,706 SF
2.76 AC
ZONING: I

Public Right of Way per Rec. #3632302
SILVER BIRCH BLVD.

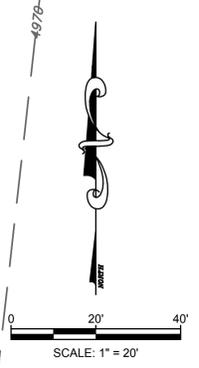
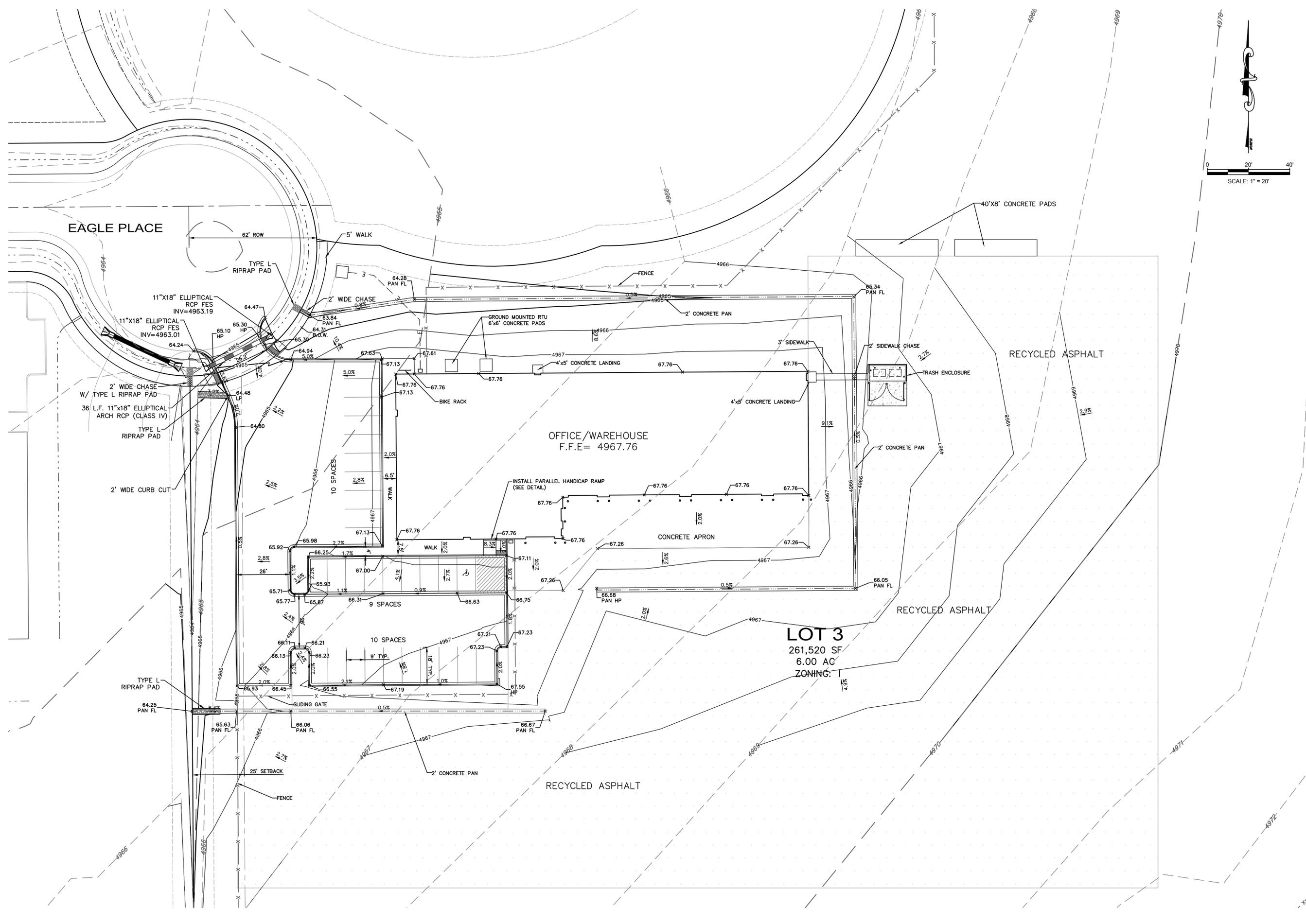


NO.	DATE	DESCRIPTION	BY
2	01/15/20	RESUBMITTAL	JEP
1	11/25/19	RESUBMITTAL	JEP

Rocky Ridge Civil Engineering
420 21st Ave, Suite 101
Longmont, CO 80501
303.551.6626
http://rockyridgecivil.com

OVERALL GRADING, DRAINAGE AND STORM WATER MANAGEMENT	DATE	CAD NO	JOB NO
	10/04/19	7991BASE	799-1
COLORADO WEST		ZONING: AG	

ZONING: R-2



NO.	DATE	DESCRIPTION
2	01/15/20	RESUBMITTAL
1	11/25/19	RESUBMITTAL

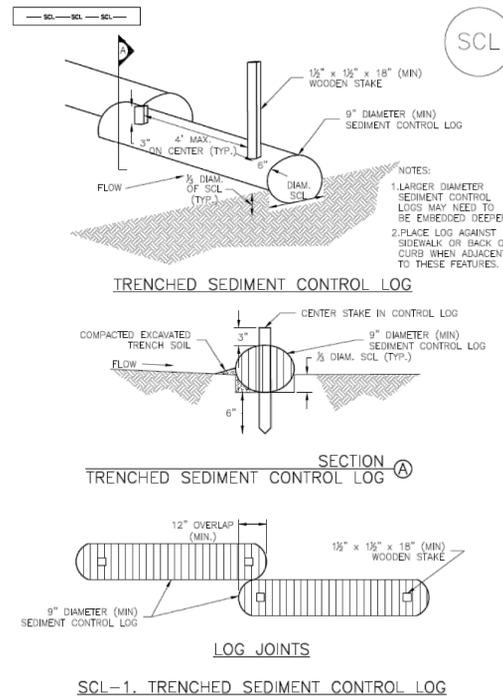
Rocky Ridge Civil Engineering
420 21st Ave, Suite 101
Longmont, CO 80501
303.551.6626
http://rockyridgecivil.com

COLORADO WEST		CAD NO 7991BASE	JOB NO 799-1
DATE 10/04/19	DETAILED GRADING PLAN		

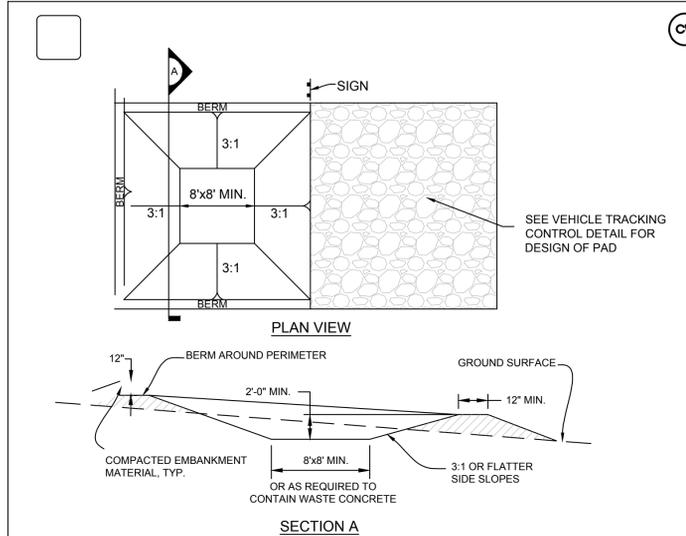
SHEET NO C4

Sediment Control Log (SCL)

SC-2



November 2015 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SCL-3



CONCRETE WASHOUT AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATIONS OF CONCRETE WASHOUT AREA
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION

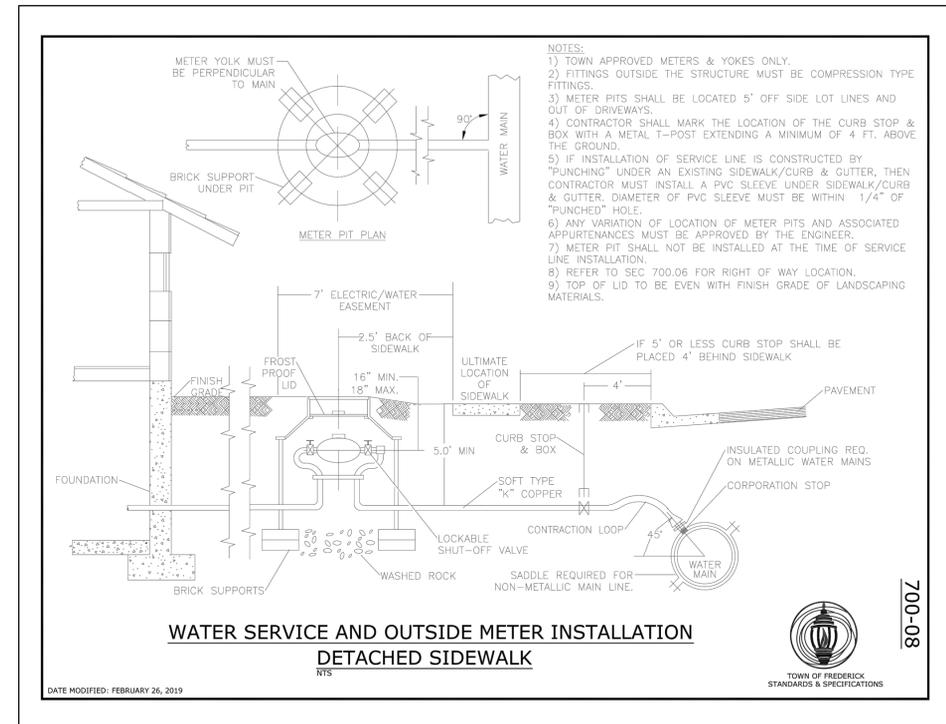
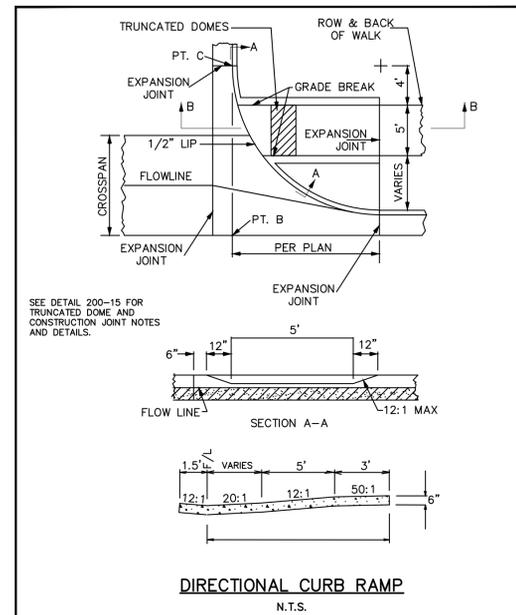
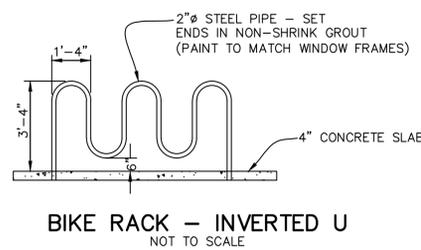
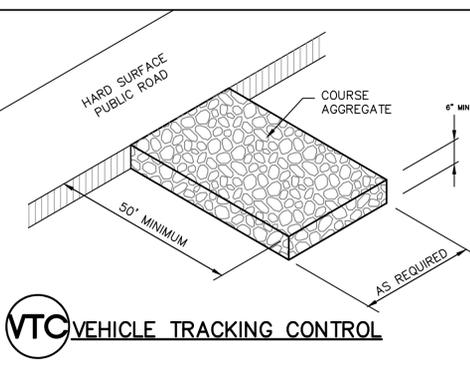
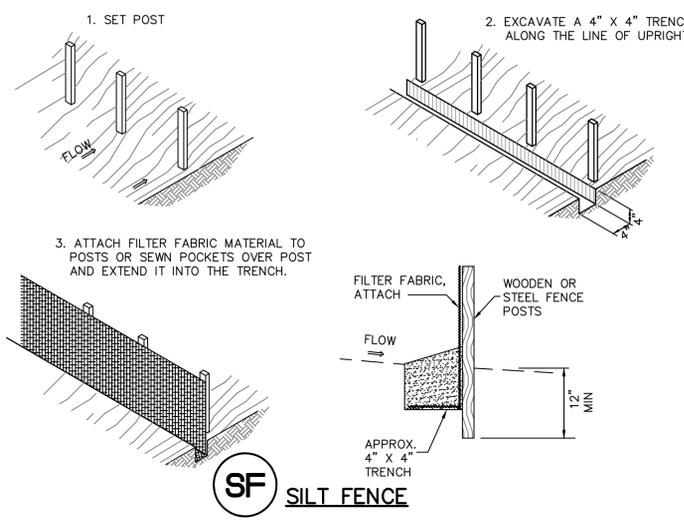
CONCRETE WASHOUT AREA MAINTENANCE NOTES

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, DRILL SEED AND CRIMP MULCH OR OTHERWISE STABILIZE IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT.

Urban Drainage and Flood Control District
Drainage Criteria Manual (V.3) Figure C3-2
CONCRETE WASHOUT AREA

TOWN OF FREDERICK GENERAL GRADING NOTES:

- NO GRADING SHALL COMMENCE WITHOUT OBTAINING PROPER PERMITS. A PRE-GRADE MEETING AT THE SITE IS REQUIRED BEFORE THE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, TOWN OF FREDERICK ENGINEERING STAFF, AND UTILITY COMPANY REPRESENTATIVES. A FORTY-EIGHT (48) HOUR NOTICE IS REQUIRED.
- ALL CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND, AS WELL AS ACTIVITIES THAT DISTURB LESS THAN ONE ACRE OF LAND, BUT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT, MUST COMPLY WITH BOTH LOCAL AND STATE REGULATIONS REGARDING STORMWATER DRAINAGE ON CONSTRUCTION SITES. OWNERS OR CONTRACTORS MUST OBTAIN A COLORADO STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES, FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). THE TOWN OF FREDERICK DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR IMPLEMENTING OR FOLLOWING THE STORMWATER MANAGEMENT PLAN.
- INSTALL AND MAINTAIN EROSION, SEDIMENT, AND MATERIALS MANAGEMENT CONTROL BMPs AS SPECIFIED IN THE SWMP.
- INSPECT ALL BMPs AT LEAST EVERY FOURTEEN (14) DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE RUNOFF.
- MAINTAIN INSPECTION AND MAINTENANCE RECORDS OF BMPs ONSITE WITH THE SWMP.
- THE OPERATOR SHALL AMEND THE PLAN WHENEVER THERE IS A SIGNIFICANT CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO THE RECEIVING WATERS, OR IF THE SWMP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- INSTALLATION AND MAINTENANCE OF BMPs SHALL BE SUPERVISED BY PERSONNEL CERTIFIED IN EROSION AND SEDIMENT CONTROL.
- ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF FREDERICK "DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS", LATEST EDITION.
- ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED SOILS ENGINEER, ALL TEST RESULT SHALL BE SUBMITTED TO THE TOWN OF FREDERICK ENGINEERING STAFF.
- CONTOURS AND SPOT ELEVATIONS SHOWN ARE ONLY CONTROLS AND THE PROFILES THEY FORM SHALL BE SMOOTH AND CONTINUOUS.
- PROJECT DATUM SHALL BE AS FOLLOWS: GEODETIC COORDINATES BASED ON NAD 83 (1992); ORTHOMETRIC HEIGHTS BASED ON NAVD 88 VERTICAL DATUM; STATE PLANE COORDINATES BASED ON NAD 83 (HARN) COLORADO NORTH ZONE (0501).
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT THEIR EXPENSE.
- TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
- TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR IMMEDIATE INSTALLATION. SEEDING WILL BE DONE ACROSS THE SLOPE FOLLOWING THE CONTOURS. VEGETATION SHALL BE A VIGOROUS, DROUGHT TOLERANT NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION. SEEDED AREAS SHALL BE IRRIGATED IF CONDITIONS SO MERIT.
- AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
- ANY SETTLEMENT OR SOIL ACCUMULATION BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED BY THE CONTRACTOR IMMEDIATELY.
- NO GRADING SHALL TAKE PLACE IN DELINEATED FLOOD HAZARD AREAS UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- TEMPORARY SILT FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS AS SHOWN ON THE APPROVED EROSION CONTROL PLAN. IN ADDITION, THE TOWN OF FREDERICK MAY REQUIRE AN ADDITIONAL TEMPORARY SILT FENCE IF FIELD CONDITIONS SO MERIT THEM.
- THE OWNER/DEVELOPER SHALL PROVIDE ANY ADDITIONAL DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF FREDERICK SHOULD CONDITIONS MERIT THEM.
- DURING CONSTRUCTION THE FILL AREAS WILL BE WETTED FOR COMPACTION AND THE HAUL ROUTES AND CUT AREAS WILL BE MAINTAINED WITH WATER TO REDUCE WIND EROSION.
- FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEPSFOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
- TEMPORARY CUT/FILL SLOPES SHALL NOT BE STEEPER THAN 2:1 (2H:1V). PERMANENT SLOPES SHALL NOT BE STEEPER THAN 4:1 (4H:1V) IN AREAS TO BE SEEDED OR SODDED.
- DEPTH OF MOISTURE-DENSITY CONTROL SHALL BE FULL DEPTH FOR ALL AREAS OF FILL AND SIX (6) INCHES FOR ALL OTHER AREAS, EXCEPT THAT IN AREAS WHERE STRUCTURES ARE TO BE BUILT, MOISTURE-DENSITY CONTROL SHALL BE TWELVE (12) INCHES OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- OUTLET SIDES OF ALL PIPES SHALL BE GRADED TO DRAIN AND SHALL HAVE SUFFICIENT EROSION PROTECTION.
- THE PERMITTEE OR THEIR AGENT SHALL NOTIFY THE TOWN OF FREDERICK ENGINEERING STAFF WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - INITIAL INSPECTION WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR GRUBBING IS STARTED.
 - TOWN OF FREDERICK INSPECTION AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.
 - EXCAVATION INSPECTION AFTER THE EXCAVATION IS STARTED BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN (10) FEET.
 - FILL INSPECTION AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE FILL EXCEEDS TEN (10) FEET.
 - DRAINAGE DEVICE INSPECTION AFTER FORMING OF TERRACE DRAINS, DOWNDRAINS, OR AFTER PLACEMENT OF PIPE BUT BEFORE ANY CONCRETE OR FILL MATERIAL IS PLACED.
 - FINAL INSPECTION WHEN ALL WORK INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN, PROFESSIONAL VERIFICATIONS AND REQUIRED REPORTS HAVE BEEN SUBMITTED.
- SOILS IN THE AREA OF THE PROPOSED STRUCTURE SHALL BE CUT TO THE PROPOSED GRADE, AND THE SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF ONE (1) FOOT, MOISTURE CONDITIONED AND PROOF ROLLED TO A MINIMUM OF 95% RELATIVE COMPACTION, UNLESS OTHERWISE PROVIDED FOR IN THE SOILS REPORT.
- AREAS OF CONTINUOUS FOOTINGS SHALL BE UNDERCUT AND COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION AT A DEPTH EQUAL TO THE WIDTH OF THE FOOTING, UNLESS OTHERWISE PROVIDED FOR IN THE SOILS REPORT.



NO.	DATE	DESCRIPTION
2	01/15/20	RESUBMITTAL
1	11/25/19	RESUBMITTAL

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420 21st Ave, Suite 101
Longmont, CO 80501
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http://rockyridgecivil.com

JOB NO
799-1

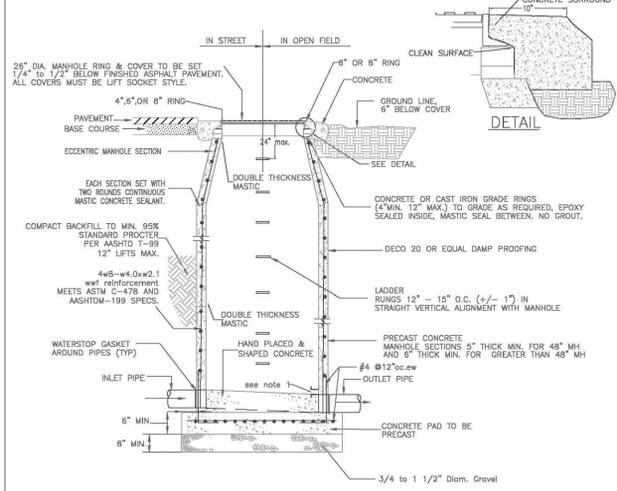
DATE
10/04/19

CAD NO
7991BASE

CIVIL DETAILS

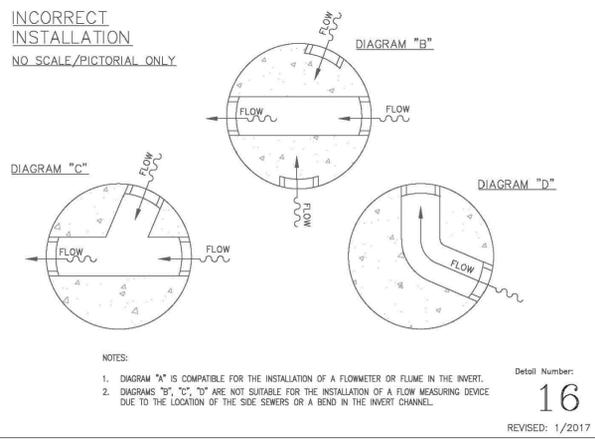
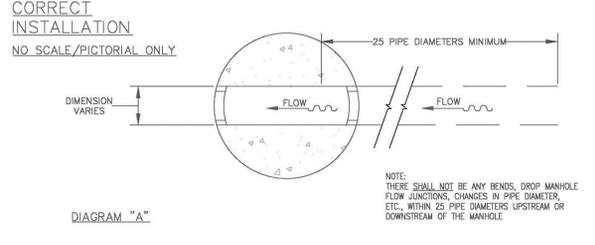
SHEET NO
C5

ST. VRAIN SANITATION DISTRICT MONITORING MANHOLE ASTM C-478



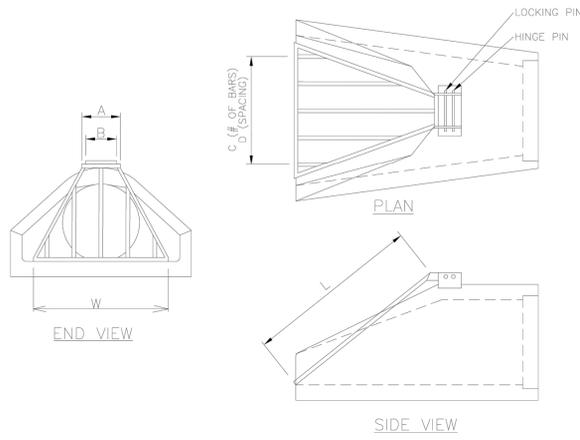
- NOTES:
- MANHOLES SHALL BE SEALED WATER-TIGHT. NO GROUT ALLOWED EXCEPT AT PIPE PENETRATIONS. MANHOLE EXTENSORS SHALL BE DAMP-PROOFED.
 - DROP THROUGH MANHOLE TO BE EQUAL TO SLOPE OF SURROUNDING PIPE. FOR FLUME INSTALLATIONS, FLUME MUST BE SET LEVEL.
 - MONITORING MANHOLE TO BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY, ON DISCHARGER'S PROPERTY. THE MANHOLE MUST BE SAFELY AND INDEPENDENTLY ACCESSIBLE FOR DISTRICT USE AT ALL TIMES.
 - FOR MANHOLE DEPTHS LESS THAN FOUR (4) FEET FROM RIM TO TOP OF BENCH, VERTICAL MANHOLE BARRELS OR MINIMUM 30-INCH BY 30-INCH PRECAST BOX WITH PRECAST FLAT TOP SECTIONS ARE REQUIRED.
 - DESIGN AND LOCATION OF MONITORING MANHOLE SUBJECT TO DISTRICT APPROVAL.
- Detail Number: **15**
REVISED: 1/2017

ST. VRAIN SANITATION DISTRICT MONITORING MANHOLE DETAIL TOP VIEW DIAGRAMS



ST. VRAIN SANITATION DISTRICT APPENDIX B GENERAL CONSTRUCTION NOTES

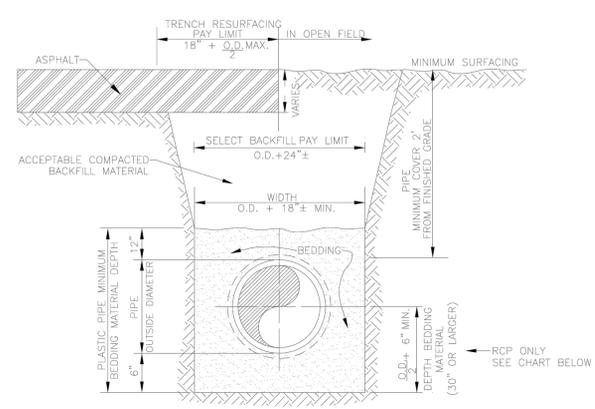
- District shall refer to the St. Vrain Sanitation District in these notes.
 - District's acceptance of these plans is valid for one year.
 - All materials and construction shall conform to the District standards.
 - Contractor to verify locations and elevations of existing utilities prior to commencing any construction.
 - The contractor shall notify the District a minimum of 48 hours and a maximum of 96 hours prior to starting construction or prior to resuming construction after a break.
 - Sanitary sewer shall be polyvinyl chloride (PVC) pipe, ASTM D3034-SDR35 or as indicated on the plans.
 - All concrete shall be minimum 4000 psi at 28 day strength.
 - Maintain a minimum of 10 feet horizontal separation outside diameter to outside diameter between water lines and all sewer lines and manholes.
 - All sewer mains crossing water mains with less than 18 inches of separation shall be encased in concrete.
 - Rim elevations shown are approximate and should not be taken as final. All manholes shall be final adjusted after paving such that the rim is 1/4 to 1/2 inch below finished asphalt. Manholes in unpaved areas shall be set so that the rim is 0.5' above finished grade.
 - Invert data shall be collected by a licensed surveyor on each pipe invert in a manhole. Center of manhole surveying is not acceptable for slope calculations. Record drawings (asbuilts) must demonstrate conformance to District standards.
 - The contractor shall have a set of approved plans on site at all times. The contractor shall be responsible for recording actual record drawing dimensions and distances as well as service locations on these plans and submitting them to the engineer for preparation of record drawings. These drawings shall be kept current at all times.
 - Before any construction commences, a plug shall be installed to prevent drainage through the new sewer line from entering the existing sewer line. This plug will be installed in the manhole, which connects new work with the existing and not be removed until initial acceptance.
 - Underdrains, if installed, are the responsibility of the developer. District assumes no liability for any portion of or any damage caused by underdrains. Absolutely no part of an underdrain system, including clean outs, will be allowed inside of sanitary sewer manholes. All underdrains shall be installed below the sanitary sewer and offset to the side. Pipe material shall be different color than sanitary sewer.
 - No service laterals smaller than 8 inch in diameter shall enter manholes.
 - Service crossings of curb shall be marked with a cut "S" in curb face. Paint is not acceptable. Service shall be extended into the lot a minimum of 10 feet.
 - Contractor shall mark the end of all sewer services with a 2" x 4" board with minimum of four (4) feet above grade, painted green.
 - All pipes shall have squeegee (CDOT #8 bedding) unless otherwise shown or the District may approve an alternate bedding in special cases.
 - Cut off walls will be installed 10' down stream of each manhole where the Subdivision line connects to the existing sanitary sewer main line.
 - The warranty bond shall be in the amount of \$5,000.00 or 15% of the total cost of the sewer, whichever is greater.
 - Prior to approval, all sanitary sewer pipes shall be pressure-tested per ASTM C924. All manholes shall be vacuum-tested per UNI-B-98.
 - Prior to removal of plugs at manholes, pipe shall be jet-cleaned and vacuumed to remove debris and videoed. Notice shall be given to the District Inspector one (1) week prior to cleaning. Inspector must be present during the operation. Once approval has been given by Inspector, plugs may only be removed after initial acceptance by the District.
 - The final recorded plat and recorded address plat shall be provided to the District for initial acceptance.
 - Twenty (20) months after construction and prior to the expiration of warranty, the developer shall camera/video the sanitary sewer lines and provide a DVD to the District for review.
- REVISED 1/2017



PIPE DIAMETER	A	B	C	D	W	L
12"	11"	7.5"	3	6"	21"	30"
15"	9"	5.5"	3	6.5"	27"	28"
18"	10"	6.5"	3	8"	28"	31"
24"	12"	9.5"	5	8"	40"	47.5"
30"	15"	12.5"	5	9"	52"	
36"	18"	15.5"	7	8.5"	58"	71.25"
42"	21"	18.5"	7	9"	64"	75"
48"	24"	21.5"	9	8"	70"	82.75"
54"	24"	21"	14	6"	84"	84"
60"	24"	21"	22	6"	132"	108"
72"	24"	21"	22	6"	132"	108"

STANDARD FLARED END SECTION TRASH RACK
NTS
TOWN OF FREDERICK STANDARDS & SPECIFICATIONS
DATE MODIFIED: FEBRUARY 26, 2019

800-01



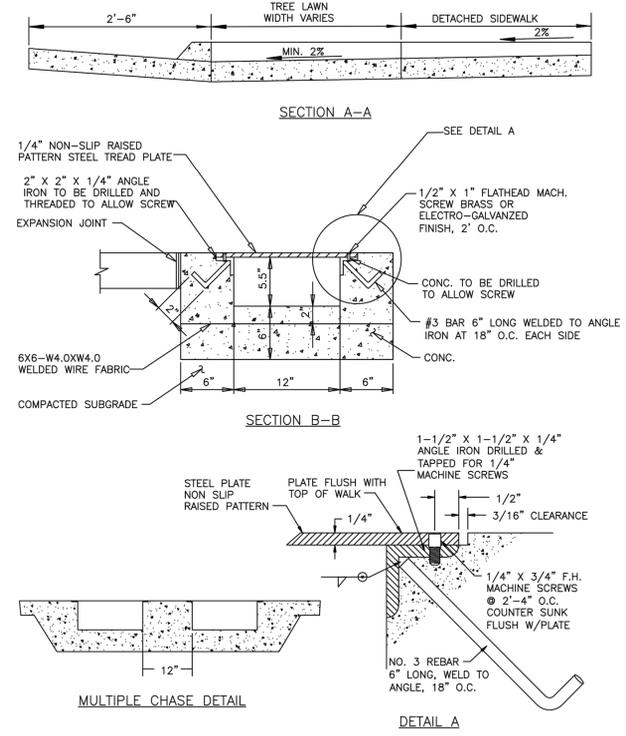
TYPICAL TRENCH

RCP PIPE ONLY	
RCP DIAMETER	24" AND SMALLER 30" AND LARGER
HEIGHT OF BEDDING	1' ABOVE TOP OF PIPE SPRINGLINE.

MINIMUM COMPACTION DENSITY	
PIPE BEDDING	90% OF MAXIMUM STANDARD DENSITY
TRENCH BACKFILL:	
UNDER PAVED ROADWAYS, SIDEWALKS AND OTHER PAVED AREAS	95% OF MAXIMUM STANDARD DENSITY
UNDER GRAVEL ROADWAYS	95% OF MAXIMUM STANDARD DENSITY
UNDER FOOTINGS, FOUNDATIONS OR STRUCTURES	98% OF MAXIMUM STANDARD DENSITY
FIELD AND OPEN AREAS	90% OF MAXIMUM STANDARD DENSITY

PIPE BEDDING AND BACKFILL LIMITS
NTS
TOWN OF FREDERICK STANDARDS & SPECIFICATIONS
DATE MODIFIED: FEBRUARY 26, 2019

500-25A



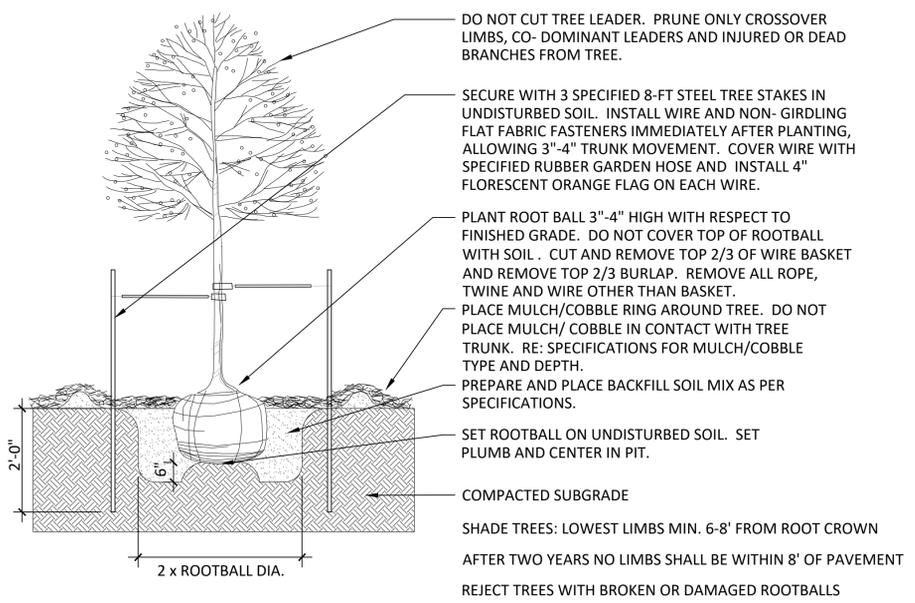
CHASE DRAIN DETAIL
NTS
TOWN OF FREDERICK STANDARDS & SPECIFICATIONS
DATE MODIFIED: JANUARY 31, 2019

NO.	DATE	DESCRIPTION
2	01/15/20	RESUBMITTAL
1	11/25/19	RESUBMITTAL

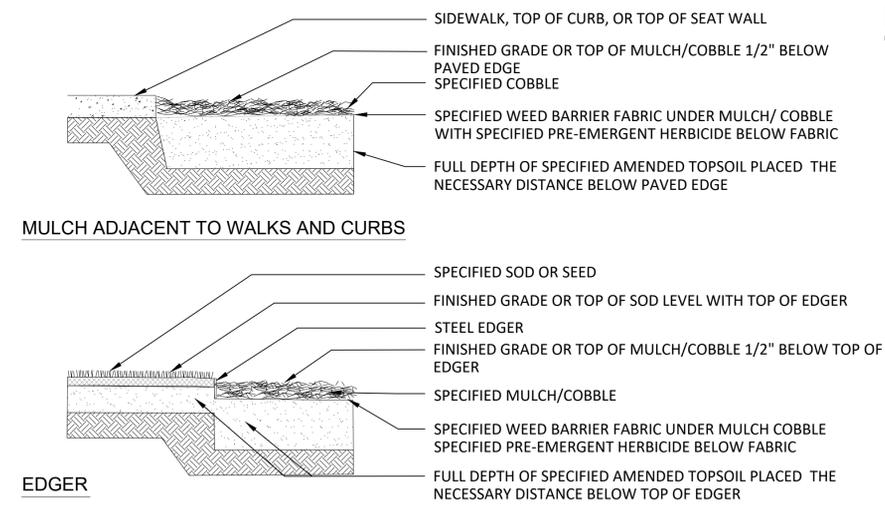
Rocky Ridge Civil Engineering
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JOB NO	DATE	CAO NO	JOB NO
799-1	10/04/19	7991BASE	799-1

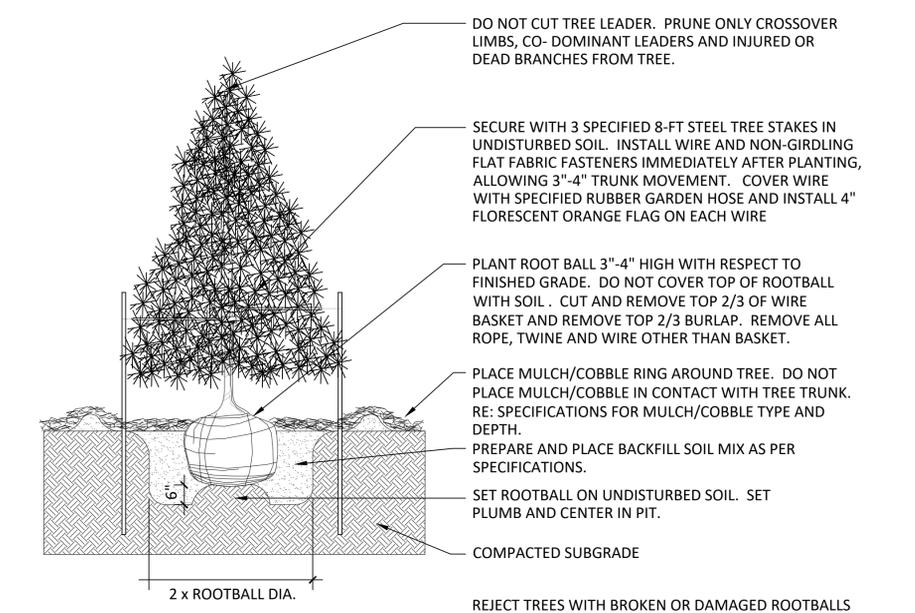
COLORADO WEST
CIVIL DETAILS



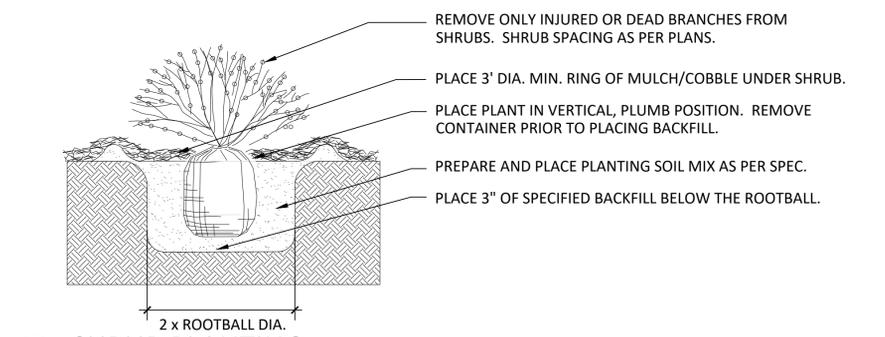
1 DECIDUOUS TREE
 NOT TO SCALE



3 EDGE TREATMENT
 NOT TO SCALE



2 EVERGREEN TREE PLANTING
 NOT TO SCALE



4 SHRUB PLANTING
 NOT TO SCALE

PLANT LIST:

QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.	WATER NEEDS
<input type="checkbox"/> DECIDUOUS TREES					
1	wca	WESTERN CATALPA <i>Catalpa speciosa</i>	2" CAL. SINGLE TRUNK	B & B	xeric
2	kct	KENTUCKY COFFEE TREE <i>Gymnocladus dioicus</i>	2" CAL. SINGLE TRUNK	B & B	xeric
4	hby	COMMON HACKBERRY <i>Celtis Occidentalis</i>	2" CAL. SINGLE TRUNK	B & B	xeric
2	cso	CRIMSON SPIRE OAK <i>Quercus 'Crimschmidt'</i>	2" CAL. SINGLE TRUNK	B & B	MODERATE
4	cko	CHINKAPIN OAK <i>Quercus muehlenbergii</i>	2" CAL. SINGLE TRUNK	B & B	MODERATE
7	acl	ACCOLADE ELM <i>Ulmus japonica x wilsonia 'Morton'</i>	2" CAL. SINGLE TRUNK	B & B	MODERATE
6	rml	REDMOND LINDEN <i>Tilia americana 'Redmond'</i>	2" CAL. SINGLE TRUNK	B & B	MODERATE
<input type="checkbox"/> ORNAMENTAL TREES					
7	wha	WASHINGTON HAWTHORN 'Winter King' <i>Crataegus viridis 'Winter King'</i>	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
5	ssc	SPRING SNOW CRABAPPLE <i>Malus sp. 'Spring Snow'</i>	1 1/2" CAL. SINGLE TRUNK	B & B	LOW
8	abp	AUTUMN BLAZE PEAR <i>Pyrus calleryana 'autumn blaze pear'</i>	1 1/2" CAL. SINGLE TRUNK	B & B	LOW
8	tat	TATARIAN MAPLE 'HOT WINGS' <i>Acer tataricum</i>	1 1/2" CAL. SINGLE TRUNK	B & B	LOW
<input type="checkbox"/> EVERGREEN TREES					
19	pip	PINYON PINE <i>Pinus cembroides edulis</i>	6' HT.	B & B	xeric
<input type="checkbox"/> DECIDUOUS SHRUBS					
94	gdp	GOLD DROP POTENTILLA <i>P. fruticosa 'Gold Drop'</i>	5 GAL.	CONT.	XERIC
19	rus	RUSSIAN SAGE <i>Perovskia artiljicifolia</i>	5 GAL.	CONT.	XERIC
47	rab	RABBITBRUSH <i>Physocarpus opulifolius 'Nanus'</i>	5 GAL.	CONT.	XERIC
	bms	BLUE MIST SPIREA <i>Caryopteris x clandonensis</i>	5 GAL.	CONT.	MEDIUM
24	dnk	DWARF NINEBARK <i>Physocarpus opulifolius 'Nanus'</i>	5 GAL.	CONT.	LOW
91	gfp	GOLDFINGER POTENTILLA <i>P. fruticosa 'Goldfinger'</i>	5 GAL.	CONT.	MEDIUM
47	cbc	CORAL BEAUTY COTONEASTER <i>Cotoneaster dammeri 'coral beauty'</i>	5 GAL.	CONT.	MEDIUM
<input type="checkbox"/> EVERGREEN SHRUBS					
40	tam	TAMMY JUNIPER <i>Juniperus sabina 'Tamariscifolia'</i>	5 GAL.	CONT.	LOW
<input type="checkbox"/> ORNAMENTAL GRASSES					
90	frg	KARL FOERSTER FEATHER REED <i>Calamagrostis acuti. 'Karl Foerster'</i>	1 GAL.	CONT.	LOW
101	dmg	DWARF MAIDEN GRASS <i>Miscanthus sinensus 'Yaku Jima'</i>	1 GAL.	CONT.	LOW
30	hpg	HARDY PAMPAS GRASS <i>Erianthus ravennae</i>	5 GAL.		
<input type="checkbox"/> PERENNIALS					
37	dgd	DWARF GOLD DAYLILY <i>Hemerocallis 'Stella doro'</i>	1 GAL.	CONT.	LOW

REVISION	DESCRIPTION	DATE
001	RESUBMITTAL	11/25/19
002	RESUBMITTAL	1/14/20

LANDSCAPE DETAILS
COLORADO WEST
 4970 EAGLE PLACE FREDERICK, CO 80504
 TOWN OF FREDERICK

DESIGN ND	DRAWN ND	CHKD SW
SCALE: H: V:		
JOB No. 19-0055		
DATE: 10/04/19		
SHEET L1.1		

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF THE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUNK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING WITH ROLLED EDGE OR PROTECTIVE CAP SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE ARCHITECT A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

IRRIGATION STANDARDS:

- ALL SHRUB BEDS AND NEW PLANTINGS TO BE IRRIGATED PER TOWN STANDARDS.
- IRRIGATION TO BE DESIGN BUILD BY CONTRACTOR. CONTRACTOR (OR HIS DESIGN CONSULTANT) IS REQUIRED TO MEET BRIEFLY WITH PARKS STAFF TO ESTABLISH IRRIGATION PROGRAM REQUIREMENTS.
- NATIVE GRASS: TEMPORARY IRRIGATION MUST BE PROVIDED FOR ESTABLISHMENT. NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

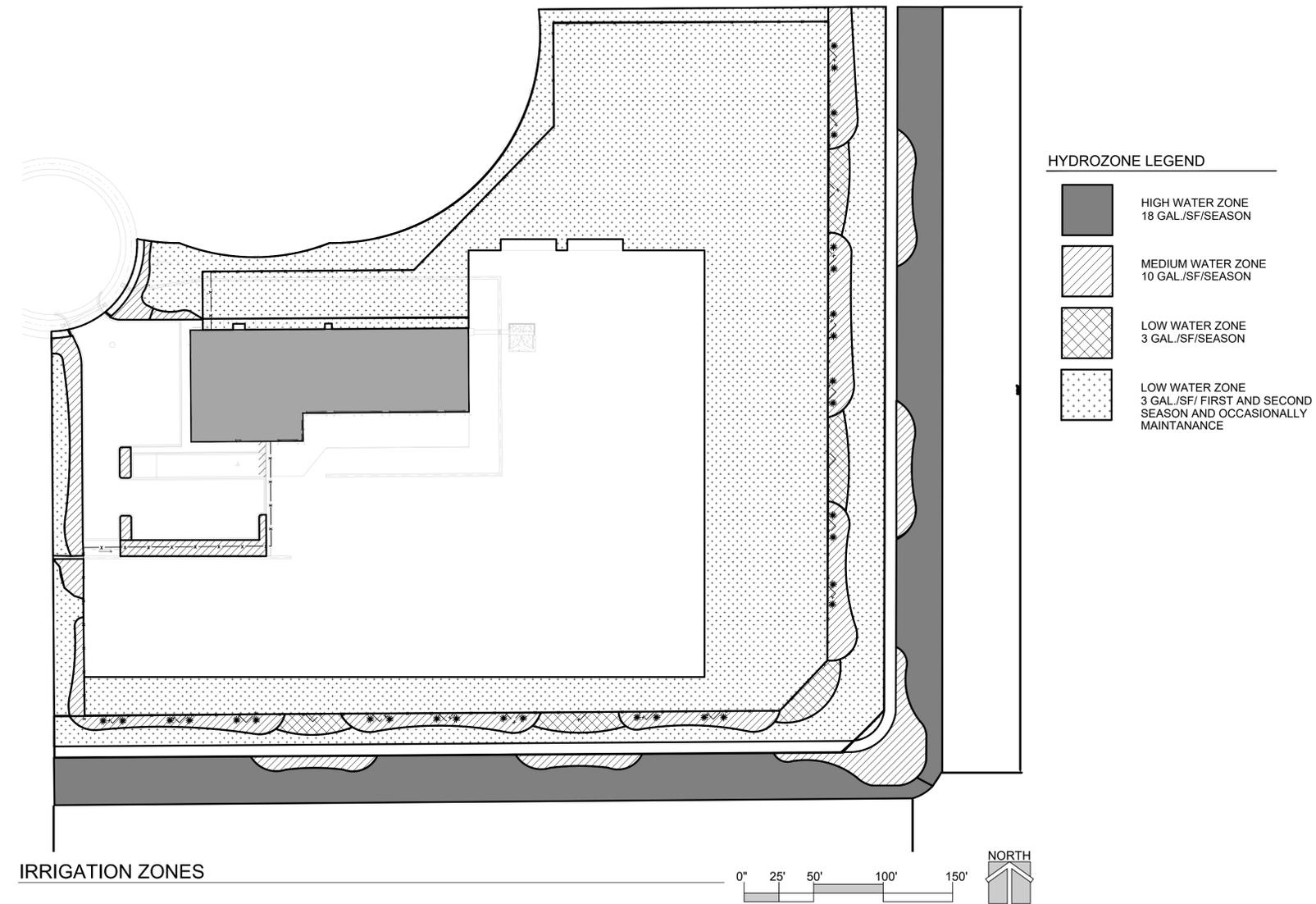
MAINTENANCE GUARANTEE:

IN ORDER TO PROVIDE FOR THE ONGOING HEALTH AND APPEARANCE OF REQUIRED AND APPROVED LANDSCAPE IMPROVEMENTS, ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD HEALTH AND REPLACED BY THE LANDOWNER OR OCCUPANT AS NECESSARY. ALL PROPERTY OWNERS OR OCCUPANTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING WITHIN THE PORTION OF THE PUBLIC RIGHT-OF-WAY BETWEEN THE BACK OF THE CURB OR STREET PAVEMENT AND THE ADJACENT PROPERTY.

PERFORMANCE GUARANTEE:

- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

HYDROZONE MAP:

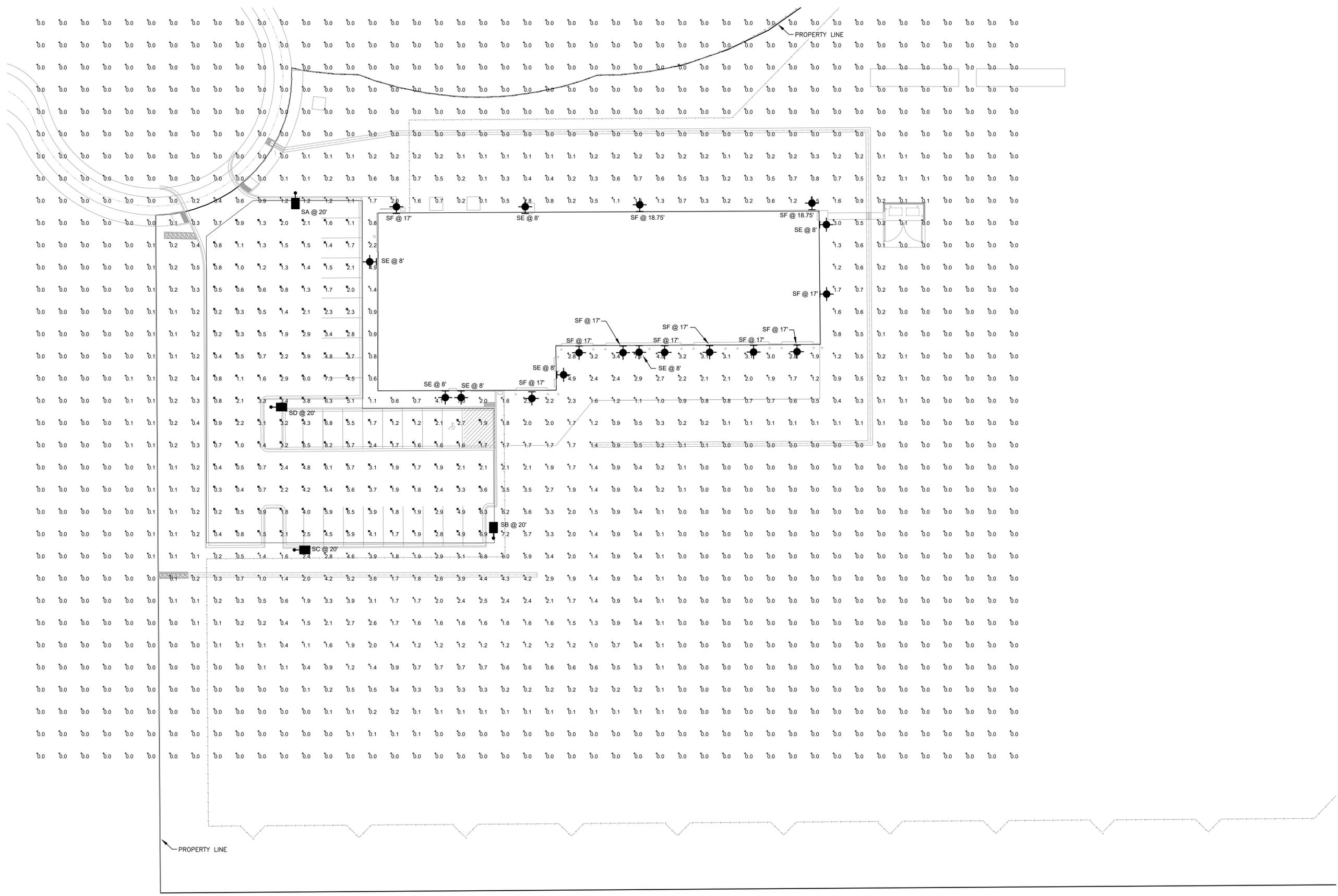


REVISIONS	DATE	DESCRIPTION
001	11/25/19	RESUBMITTAL
002	1/14/20	RESUBMITTAL

LANDSCAPE DETAILS
COLORADO WEST
 4970 EAGLE PLACE FREDERICK, CO 80504
 TOWN OF FREDERICK

SEAL
NOT FOR CONSTRUCTION

DESIGN ND	DRAWN ND	CHKD SW
SCALE: H: V:		
JOB No. 19-0055		
DATE: 10/04/19		
SHEET L1.2		



SITE PHOTOMETRIC
 SCALE 1"=20'

ENGINEERED BY:
BELFAY
 ENGINEERING
 MECHANICAL
 & ELECTRICAL
 CONSULTING
 ENGINEERS
 2811 West 9th Ave.
 Denver, CO 80204
 TEL: (303) 892-5980
 FAX: (303) 892-5979
 EMAIL: belfay@belfay.com

NO.	DATE	DESCRIPTION	BY
2	01/15/20	REVISIONS	
1	11/25/19	RESUBMITTAL	

Rocky Ridge
Civil Engineering
 420 21st Ave, Suite 101
 303.951.8626
<http://rockyridgecivil.com>

COLORADO WEST SITE PHOTOMETRIC	DATE 10.04.2019	CAD NO 19084E	JOB NO 799-1
	SHEET NO		

E1

LIGMAN TYPE SE Outdoor | Surface facade luminaires | MARVIK

MARVIK 2 (MV-30013)

CE, IP65, IK08

Luminaire structure

- Die-cast aluminium housing and frame pre-treated before powder coating ensuring high corrosion resistance
- Single cable entry
- Stainless steel fasteners in grade 316
- Durable silicone rubber gasket
- High efficiency optical reflector
- Clear toughened glass
- Integral control gear



Light symbol

Product color

Product description
Ø150 - 220 mm - Down

Technical information

Lamp	4 LED	Luminaire	Power	10 W
Lamp type	LED	Lumen	574 - 893 lm	
Dimming type	1-10V, On/Off, DALI	Efficacy	57 - 89 lm/W	
EEC	A++	CCT	4000K, 3000K	
Material	Aluminium	Drive current	700 mA	
Weight	2.6 kg	Optic	T2 [131°x 43°], T3 [125°x 61°], T4 [95°x 66°], M [32°], W [52°], VW [65°], EW [108°]	

EUROPE: LIGMAN EUROPE s.r.o., VIGIP Park, Usti nad Labem, P 2 120, 40317, Přestavice, Czech Republic, +420 477 071 500, sales.cs@ligman.com

ASIA PACIFIC: LIGMAN Lighting Co., Ltd., 1772 Moo 4, Monthong, Bangnaepromwong, 24150, Chachoengsao, Thailand, +66 2 108 6700, info@ligman.com

LIGMAN TYPE SF Outdoor | Surface facade luminaires | MARVIK

MARVIK 3 (MV-30023)

CE, IP65, IK08

Luminaire structure

- Die-cast aluminium housing and frame pre-treated before powder coating ensuring high corrosion resistance
- Single cable entry
- Stainless steel fasteners in grade 316
- Durable silicone rubber gasket
- High efficiency optical reflector
- Clear toughened glass
- Integral control gear



Light symbol

Product color

Product description
Ø150 - 240 mm - Down

Technical information

Lamp	2 x 4 LED	Luminaire	Power	20 W
Lamp type	LED	Lumen	1151 - 1627 lm	
Dimming type	DALI, On/Off, 1-10V	Efficacy	58 - 81 lm/W	
EEC	A++	CCT	3000K, 4000K	
Material	Aluminium	Drive current	700 mA	
Weight	4.8 kg	Optic	T2 [139°x 40°], T3 [136°x 61°], T4 [87°x 67°], M [52°], W [52°], VW [65°], EW [108°]	

EUROPE: LIGMAN EUROPE s.r.o., VIGIP Park, Usti nad Labem, P 2 120, 40317, Přestavice, Czech Republic, +420 477 071 500, sales.cs@ligman.com

ASIA PACIFIC: LIGMAN Lighting Co., Ltd., 1772 Moo 4, Monthong, Bangnaepromwong, 24150, Chachoengsao, Thailand, +66 2 108 6700, info@ligman.com

LSI Mirada Medium - MRM Outdoor LED Area Light

Catalog #: TYPE SA, SB, SC, AND SD Project: _____
Prepared By: _____ Date: _____

The Mirada's sleek design makes it perfectly-suited for architectural & commercial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Mirada offers high performance factory-rotatable silicone optics, 5 standard CCTs, 42,000+ delivered lumens, and is available with integral Airlink™ Wireless Controls.

Features & Specifications

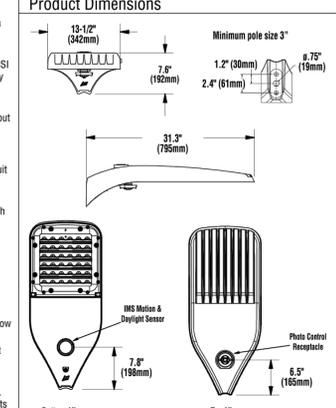
Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral Louver (LL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 2)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L lumen package rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

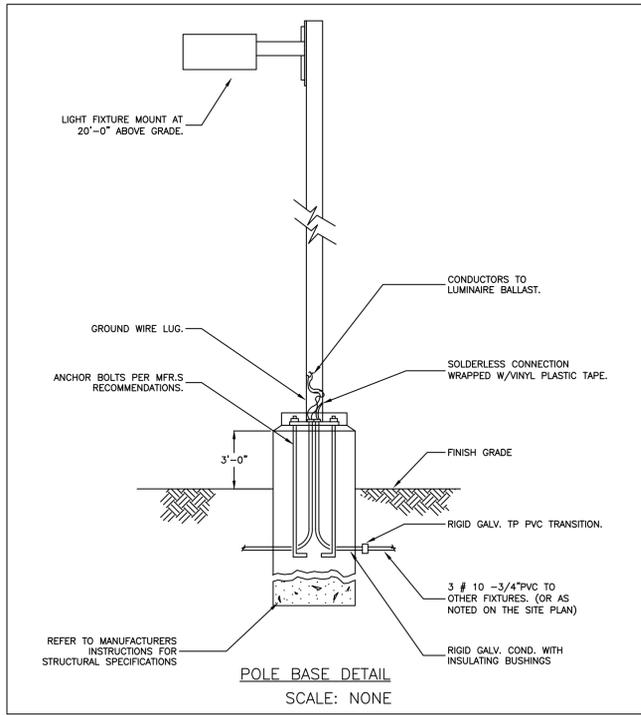
Product Dimensions



Bottom View

Top View

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-industries.com • (513) 372-3200 • ©LSI Industries Inc. All Rights Reserved.



Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
SA	SA	1	LSI INDUSTRIES, INC	MRM-LED-07L-SIL-FT-40-70CRI-IL	MRM-LED-07L-SIL-FT-40-70CRI-IL.ies	4657	1	53
SB	SB	1	LSI INDUSTRIES, INC	MRM-LED-30L-SIL-5W-40-70CRI	MRM-LED-30L-SIL-5W-40-70CRI.ies	30543	1	247
SC	SC	1	LSI INDUSTRIES, INC	MRM-LED-12L-SIL-3-40-70CRI	MRM-LED-12L-SIL-3-40-70CRI.ies	12893	1	94
SD	SD	1	LSI INDUSTRIES, INC	MRM-LED-18L-SIL-3-40-70CRI	MRM-LED-18L-SIL-3-40-70CRI.ies	19314	1	150
SE	SE	7	LIGMAN	MV-30013-T4-W40	MV-30013-T4-W40.IES	697	1	11
SF	SF	11	LIGMAN	MV-30023-T3-W40	MV-30023-T3-W40.IES	688	1	20

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	8.2 fc	0.0 fc	N/A	N/A
PARKING LOT	X	2.5 fc	8.2 fc	0.2 fc	41.0:1	12.5:1

ENGINEERED BY:
BELFAY ENGINEERING
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS
2811 West 9th Ave.
Denver, CO 80204
TEL: (303) 892-5980
FAX: (303) 892-5979
EMAIL: belfay@belfay.com

NO.	DATE	REVISIONS	DESCRIPTION
2	01/15/20	REVISIONS	
1	11/25/19	RESUBMITTAL	

Rocky Ridge Civil Engineering
420 21st Ave. Suite 101
Boulder, CO 80501
303.651.8626
http://rockyridgecivil.com

COLORADO WEST

PHOTOMETRIC DETAILS AND SCHEDULES

DATE: 10.04.2019

JOB NO: 799-1

CAD NO: 1908-HE

SHEET NO: E2

NO.	DATE	ISSUE/REVISION
-	08/01/2019	NEIGHBORHOOD MEETING
-	10/04/2019	PLANNING
-	11/29/2019	RESUBMITTAL
-	01/15/2020	RESUBMITTAL



jigsaw design, LLC.

3004 S. Adams Street
Denver, CO 80210
info@jigsawdesignllc.com
www.jigsawdesignllc.com

STAMP:

DRAWING TITLE:

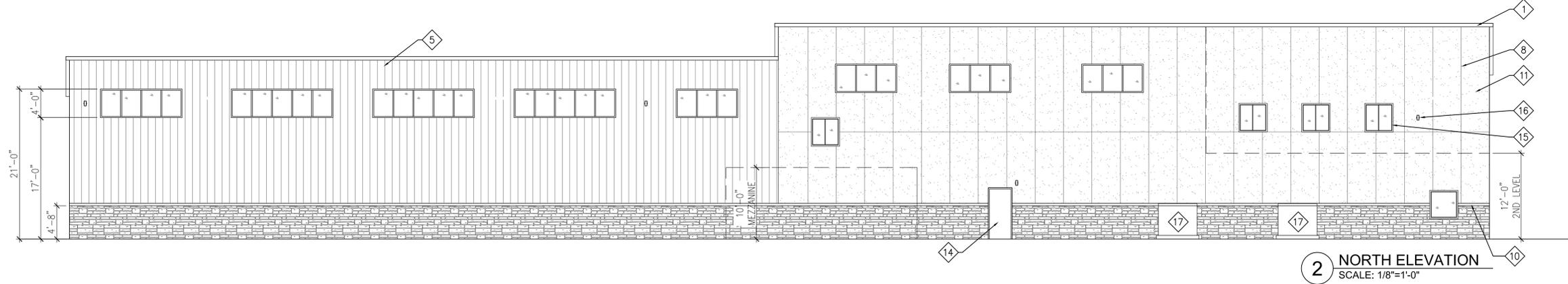
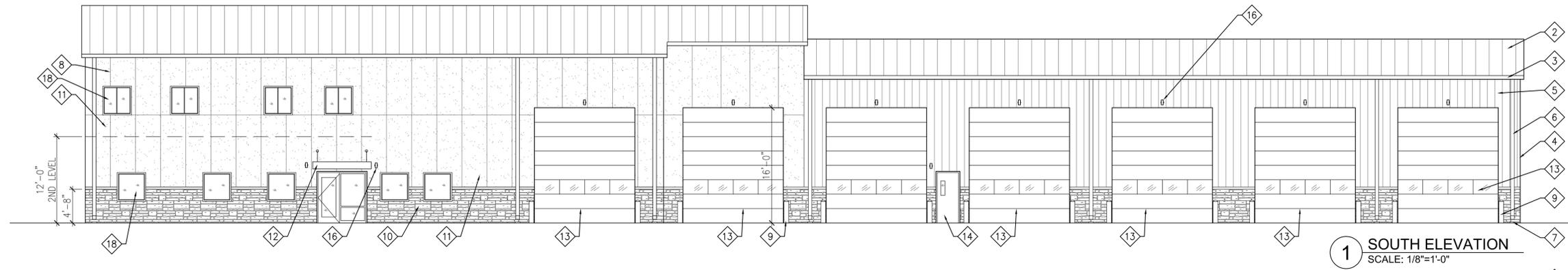
EXTERIOR
ELEVATIONS

PROJECT NUMBER: 1918

DRAWN BY: M.M.

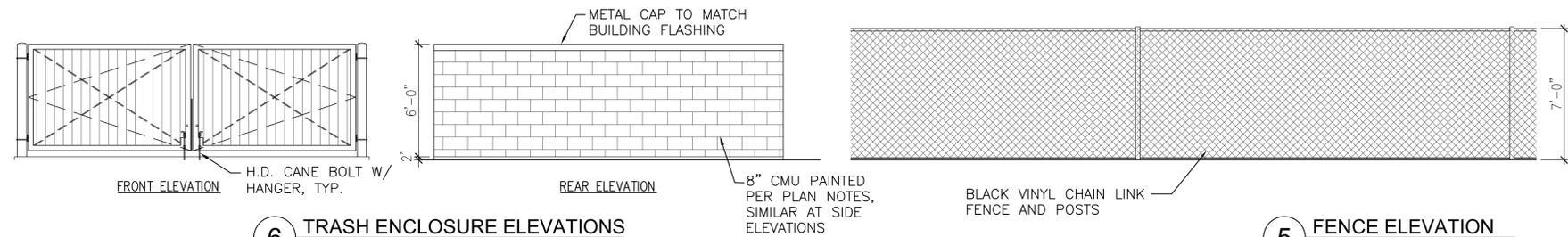
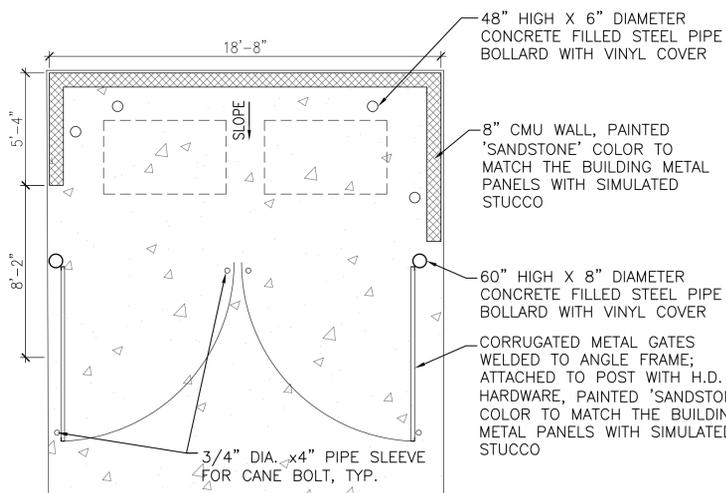
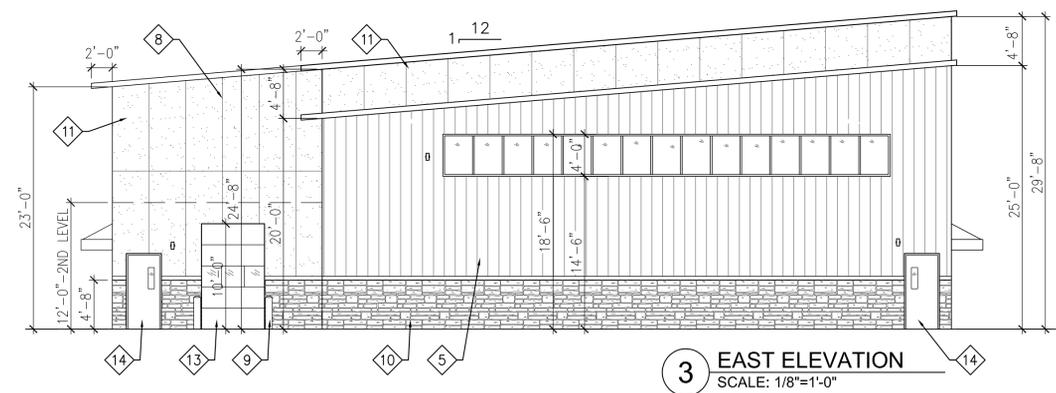
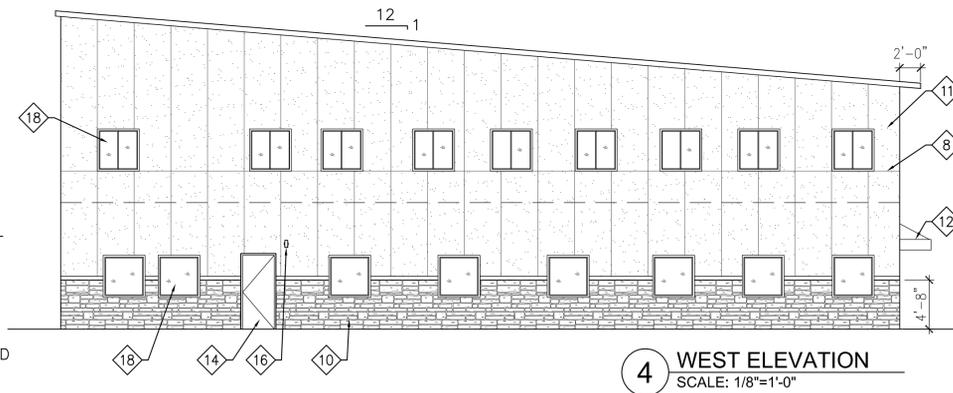
SHEET NO.:

A-1



ELEVATION FINISH MATERIALS

- 2. STANDING SEAM METAL ROOF PANELS
MFR.: CENTRAL STATES
COLOR: GALVALUME
- 5. VERTICAL RIBBED METAL SIDING.
COLOR: CHARCOAL GRAY
- 10. STACKED STONE VENEER WITH SLOPED SILL
MFR.: ELDORADO
TYPE: MOUNTAIN LEDGE
COLOR: SIERRA
- 11. INSULATED METAL PANELING WITH SIMULATED STUCCO FINISH
COLOR: SANDSTONE



5 FENCE ELEVATION
SCALE: 1/4"=1'-0"

6 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4"=1'-0"

FREDERICK DESIGN STANDARDS

DESIGN COMPATIBILITY:
TYPE 2 STANDARDS: ALL BUILDINGS SHALL BE DESIGNED AND MAINTAINED USING THE FOLLOWING BUILDING ELEMENTS. AT LEAST ONE ITEM EACH SELECTED FROM FOUR OF THE FIVE GROUPS BELOW:
GROUP 1 - EXTERIOR WALL ARTICULATION:
iii) A RECOGNIZABLE BASE TREATMENT OF THE WALL CONSISTING OF THICKER WALLS, LEDGES, OR SILLS USING INTEGRALLY TEXTURED AND COLORED MATERIALS SUCH AS STONE, MASONRY, OR A DECORATIVE CONCRETE.
GROUP 2 - ROOF ARTICULATION:
i)PITCHED ROOFS WITH AT LEAST TWO (2) ROOF LINE ELEVATION CHANGES.
GROUP 4 - BUILDING MATERIALS (THE AREA OF WINDOWS AND DOORS, INCLUDING OVERHEAD DOORS, SHALL BE EXCLUDED FROM THE WALL AREA CALCULATION):
i) AT LEAST TWO (2) KINDS OF MATERIALS DISTINCTIVELY DIFFERENT IN TEXTURE OF MASONRY PATTERN, AT LEAST ONE OF WHICH IS DECORATIVE BLOCK, BRICK, OR STONE, WITH EACH OF THE REQUIRED MATERIALS COVERING AT LEAST TWENTY-FIVE (25) PERCENT OF THE EXTERIOR WALLS OF THE BUILDING.

GROUP 5 - OTHER ARCHITECTURAL DEFINITION
ii) ORNAMENTAL LIGHTING FIXTURES (EXCLUDING NEON) FOR ALL EXTERIOR BUILDING LIGHTING.
INDUSTRIAL ARCHITECTURAL STANDARDS:
c. METAL SIDING SHALL NOT COMPRISE MORE THAN TWENTY-FIVE (25) PERCENT OF THE EXTERIOR BUILDING FINISH MATERIAL ON WALLS (ROOF EXCLUDED) OF INDUSTRIAL BUILDINGS.
TOTAL BUILDING ELEVATION AREA = 14,011 S.F.
METAL SIDING AREA = 3,337 S.F.
25% = 14,011 X 0.25 = 3,502
3,337 S.F. = 23.8%

ELEVATION KEYED NOTES

- 1. METAL ROOF CAP.
- 2. METAL ROOF PANELS.
- 3. METAL GUTTER.
- 4. METAL CORNER TRIM.
- 5. METAL WALL PANELS.
- 6. METAL DOWNSPOUT.
- 7. CONCRETE SPLASH BLOCK.
- 8. WALL PANEL REVEALS.
- 9. 36" HIGH X 8" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD WITH VINYL COVER.
- 10. STONE VENEER BASE WITH SLOPED SILL.
- 11. INSULATED METAL PANELS WITH FINISH TO SIMULATE STUCCO.
- 12. STEEL COVERED CANOPY/AWNING.
- 13. OVERHEAD DOOR.
- 14. MAIN DOOR.
- 15. DARK BRONZE ALUMINUM WINDOW UNIT.
- 16. WALL MOUNTED ORNAMENTAL LIGHT FIXTURES.
- 17. GROUND MOUNTED HVAC UNIT ON CONCRETE PAD.
- 18. PROVIDE TINTED WINDOWS AT WEST AND SOUTH WINDOWS ONLY.



401 Locust Street • P.O. Box 435 • Frederick, CO
80530-0435

Phone: (720) 382-5500 • Fax: (720) 382-5520

www.frederickco.gov

MINUTES
TOWN OF FREDERICK
PLANNING COMMISSION
VIRTUAL MEETING CONDUCTED VIA ZOOM
April 21, 2020
6:30 PM

CALL TO ORDER: At 6:30 p.m. Chairperson Moe called the meeting to order and requested roll call.

ROLL CALL:

- Present: Chairperson Moe, Vice Chair teVelde, Commissioners Conroy and Stark, Alternate Commissioner Blair
- Staff: Planning Director Jennifer Simmons, Planners Ali van Deutekom and Maureen Welsh, Engineer Jason Berg, Town Attorney Rick Samson and Town Clerk Meghan Martinez

APPROVAL OF AGENDA: There were no changes to the agenda as presented.

APPROVAL OF FEBRUARY 4, 2020 MINUTES: Motion by Commissioner Conroy and seconded by Commissioner Stark to approve the February 4, 2020 Minutes. Upon roll call vote, motion passed unanimously.

CONSIDERATION OF THE PROSPERITY PRELIMINARY PLAT:

Planner Ali van Deutekom presented the proposed preliminary plat. The applicant Rick Jablonski was present and addressed the commission. Mr. Hurst was also present on behalf of the applicant and addressed the commission.

Motion by Commissioner Stark and seconded by Commissioner Scott to approve PCR-2020-03C with conditions as outlined by staff. Upon roll call vote, motion passed 4-1 with Commissioner Conroy voting no.

PUBLIC HEARING CONSIDERATION OF THE COLORADO WEST CONDITIONAL USE:

Planner Maureen Welsh presented the proposed conditional use. The applicants Gordan Wooley, Jeff Koza, and OB Begley were present and addressed the commission.

At 7:35 Chairperson Moe opened the public hearing.

At 7:36 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Vice Chair teVelde to approve PCR-2020-04A. Upon roll call vote, motion passed unanimously.

PUBLIC HEARING CONSIDERATION OF THE G2 MOTOR CARS CONDITIONAL USE:

Built on What Matters.

Planner van Deutekom presented the proposed conditional use application. The applicant Grant Gorath was present and addressed the commission.

At 7:48 Chairperson Moe opened the public hearing.

At 7:48 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Commissioner Stark to approve PCR-2020-05A. Upon roll call vote, motion passed unanimously.

OTHER BUSINESS:

Planning Director Jennifer Simmons indicated that the next Planning Commission meeting is on May 5, 2020 and may be conducted via Zoom.

There being no further business of the Planning Commission, Chairperson Moe adjourned the meeting at 7:50PM.

Approved by the Planning Commission:

Tracy Moe, Chairperson

ATTEST:

Meghan Martinez, Town Clerk

2 A Resolution of the Planning Commission

3 **Recommending Approval of Eagle Business Park Filing 4B, Lot 3 - Conditional Use**

4
5 Be it resolved by the Planning Commission of the Town of Frederick, Colorado:

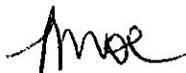
6
7 Section 1. The Frederick Planning Commission finds that:

- 8 1.1 An application for the Eagle Business Park Filing 4B, Lot 3 - Conditional Use has
- 9 been submitted.
- 10 1.2 Said application was found to be complete through the review process.
- 11 1.3 Said application was considered during a public hearing held April 21, 2020.
- 12 1.4 Proper notice was given according to Section 4.5 of the Frederick Land Use Code.
- 13 1.5 Said application conforms with the applicable requirements of Section 4.9.4 of the
- 14 Frederick Land Use Code.

15 Section 2. This resolution constitutes the written report, findings and decision of the Town
16 of Frederick Planning Commission.

17 Section 3. On the basis of the above, the Town of Frederick Planning Commission
18 recommends approval of the application.

19
20 This resolution approved this 21st day of April, 2020 by a vote of 5 to 0 .

21 

22 _____
23 Tracy Moe, Chairperson, Planning Commission

**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-42**

**A RESOLUTION OF THE TOWN OF FREDERICK, COLORADO,
APPROVING A CONDITIONAL USE FOR A BUS SALES AND LIGHT
MAINTENANCE BUSINESS**

WHEREAS, the Applicant, Joel Paas, Rocky Ridge Civil Engineering, on behalf of the owners Jeffrey P. Koza and O.B. Begley, is proposing bus sales and light maintenance business on a lot zoned I (Industrial)); and

WHEREAS, a bus sales and light maintenance business is a conditional use in an I (Industrial) zone; and

WHEREAS, the Frederick Planning Commission held a public hearing and recommended approval of the Conditional Use at its meeting on April 21, 2020; and

WHEREAS, the proposed Conditional Use satisfies all of the conditions in Article 4, Section 9 of the Frederick Land Use Code.

**BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF
FREDERICK, COLORADO, AS FOLLOWS:**

Section 1. Based on the presentations of the applicant and staff, the Board finds that the application satisfies all of the review criteria for a conditional use and the conditional use should be granted for the property for an automotive sales business in this I (Industrial) zone district.

Section 2. Effective Date. This resolution shall become effective immediately upon adoption.

Section 3. Repealer. All resolutions, or parts thereof, in conflict with this resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 4. Certification. The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND SIGNED THIS 12TH DAY OF MAY 2020.

ATTEST:

TOWN OF FREDERICK

By _____
Meghan C. Martinez, CMC, Town Clerk

By _____
Tracie Crites, Mayor



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

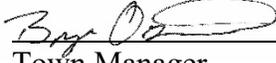
Consideration of a Sign Design Program for Bear Industrial Park Block 1 Lot 3

Agenda Date: Town Board Meeting – May 12, 2020

- Attachments:**
- a. Exhibit A Proposed Site Plan
 - b. Exhibit B Proposed Sign Drawings
 - c. Exhibit C Existing Monument Sign
 - d. Exhibit D Permitted Wall Signage Drawings
 - e. Resolution 20-R-43

Finance Review: _____
Finance Director

Submitted by: _____
Maureen Welsh
Planner I

Approved for Presentation: 
Town Manager

Quasi-Judicial Legislative Administrative

Summary Statement:

Land Use Code Section 7.17 allows for alternative standards of the sign regulations through a design alternative program. Guardian Storage is requesting a 295 square foot sign along East I-25 Frontage Road.

Detail of Issue/Request:

Applicant: Matt Williams, Broomfield Sign Co.

Owner: Kevin Cohen

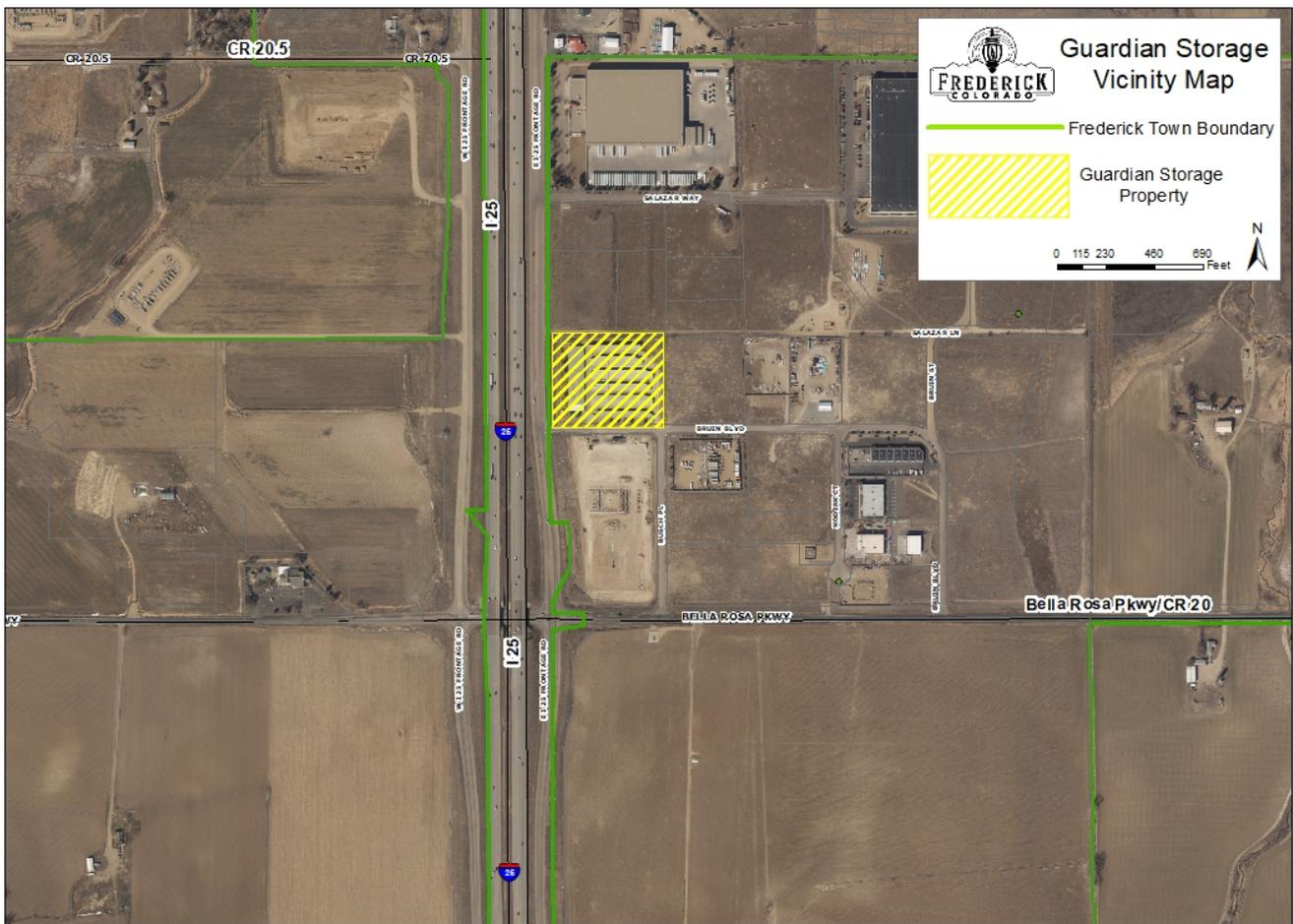
Location and Zoning: The project site is located at the northeast corner of East I-25 Frontage Road and Bruin Boulevard. The property is zoned I (Industrial District).

Built on What Matters.

Surrounding Land Uses and Zoning:

- North Land use: platted and undeveloped (Park 4040)
Zoning: Industrial District with a PUD overlay
- South Land use: Heartland Express
Zoning: Industrial
- West Land use: not platted and undeveloped (Dillon Annexation)
Zoning: Business Light Industrial
- East Land use: platted and undeveloped (Bear Industrial Park Lot 4 Block 1)
Zoning: Industrial

Vicinity Map:



Request:

Guardian Storage, located at 9051 Bruin Boulevard, has an existing monument sign located along East I-25 Frontage Road that is currently about 55 square feet. The existing monument sign was installed by the previous owner of the property. The applicant has stated that it is too small in size to be seen by the local traffic traveling north and south on I-25 at 70-80 miles per hour. The applicant considered wall signage that would be allowable under the current code, on the building that faces I-25, along the western property

line. However, this building is below grade and is screened by mature landscaping making the view of any wall signage obstructed.

The maximum height of a detached permanent sign in the Industrial district follows; 10 feet or 5 percent of frontage, whichever is taller, plus 10 feet for signs located along I-25 frontages (not to exceed 25 feet). With this, Guardian Storage is permitted 25 feet in height for their monument sign. However, the maximum sign area for a monument sign in the Industrial District follows; 1 square foot per 2 linear feet of frontage for the first 100 feet of frontage, then 1 square foot per 4 linear feet of frontage. With their lot having 390 feet of frontage, this calculates to allow approximately 122.5 square feet of signage. Therefore, Guardian Storage is requesting a 295 square foot monument sign that is 25 feet in height in lieu of the permitted 889 square feet of wall signage, across the site along both the Frontage Road elevation and Bruin Boulevard elevation.

The proposed sign surpasses the suggested maximum square footage as listed in Code Subsection 5(a) of Section 7.17 which states a maximum of 125% of the sign area for detached permanent signs that would otherwise be permissible if the property were in strict compliance with the Sign Code. However, this is ultimately the Board members' decision.

Sign Design Program Criteria Analysis:

Subsection 4 of Section 7.17 of the Land Use Code includes the following Approval Criteria. The Board of Trustees may approve a design program if it finds that the design program results in a substantially improved, comprehensive, and unified proposal compared to what is allowed through strict compliance with the sign regulations of the Land Use Code.

- A. Modification of sign setbacks or required landscape area. Setbacks or required landscape area for detached signs may be different from the requirements of the Article if it is demonstrated that there is no impact on public safety or on utility easements, the aesthetic impact of the modification is appropriately mitigated, and all other requirements for approval of a design program are met.

Staff comment: No modifications of sign setbacks or required landscape area are being requested or proposed as part of this application. The proposed setbacks and landscaping are consistent with the Land Use Code.

- B. Architectural theme. All signs shall be architecturally integrated into or complementary to the design and materials of the buildings and character of the site, and shall use similar and coordinated design features, materials, and colors. The design program shall establish or continue an integrated architectural vocabulary and cohesive theme for the development.

Staff comment: The architectural theme of the proposed monument sign will match the existing architectural elements at Guardian Storage. The skirt at the base of the proposed sign will be painted to match the color of the building to help integrate it into the color scheme of the storage complex.

- C. Height, area, number and location of signs. The height, area, type, number and location of signs permitted through the design program shall be determined by the Board of Trustees, based on the following criteria:

1. The overall size of the development and the scale of the use or uses located or anticipated to be located there (larger land areas and scales of use tend to favor larger signs and/or more signs);
2. The relationship between the building setback and sign location (higher visibility signage may be appropriate for buildings with lower visibility);
3. Frontage (larger frontages may justify more or larger signs, particularly if the size of the frontage tends to prevent sign clutter by allowing additional spacing between signs);
4. Access and visibility to the site;
5. Intended traffic circulation pattern;
6. Hierarchy of signage;
7. Relationship between the site and adjacent uses; and
8. Consistency with the objectives and design policies of the Town's Comprehensive Plan and any applicable land use or design plans approved by the Board of Trustees for the area in which the design program is proposed.

Staff comment: The applicant could install 498 square feet of wall signage on their western frontage but are instead asking for a larger than strictly permitted monument sign. They are requesting a 295 square foot sign with a maximum height of 25 feet. This is 172.5 square feet larger than permitted.

Legal Comments:

The applicant's request is discretionary with the Board pursuant to the Town Sign Code. The Town Attorney prepared the Resolution.

Alternatives/Options:

The Board of Trustees may recommend approval of the request, denial of the request, or approval of the request with conditions.

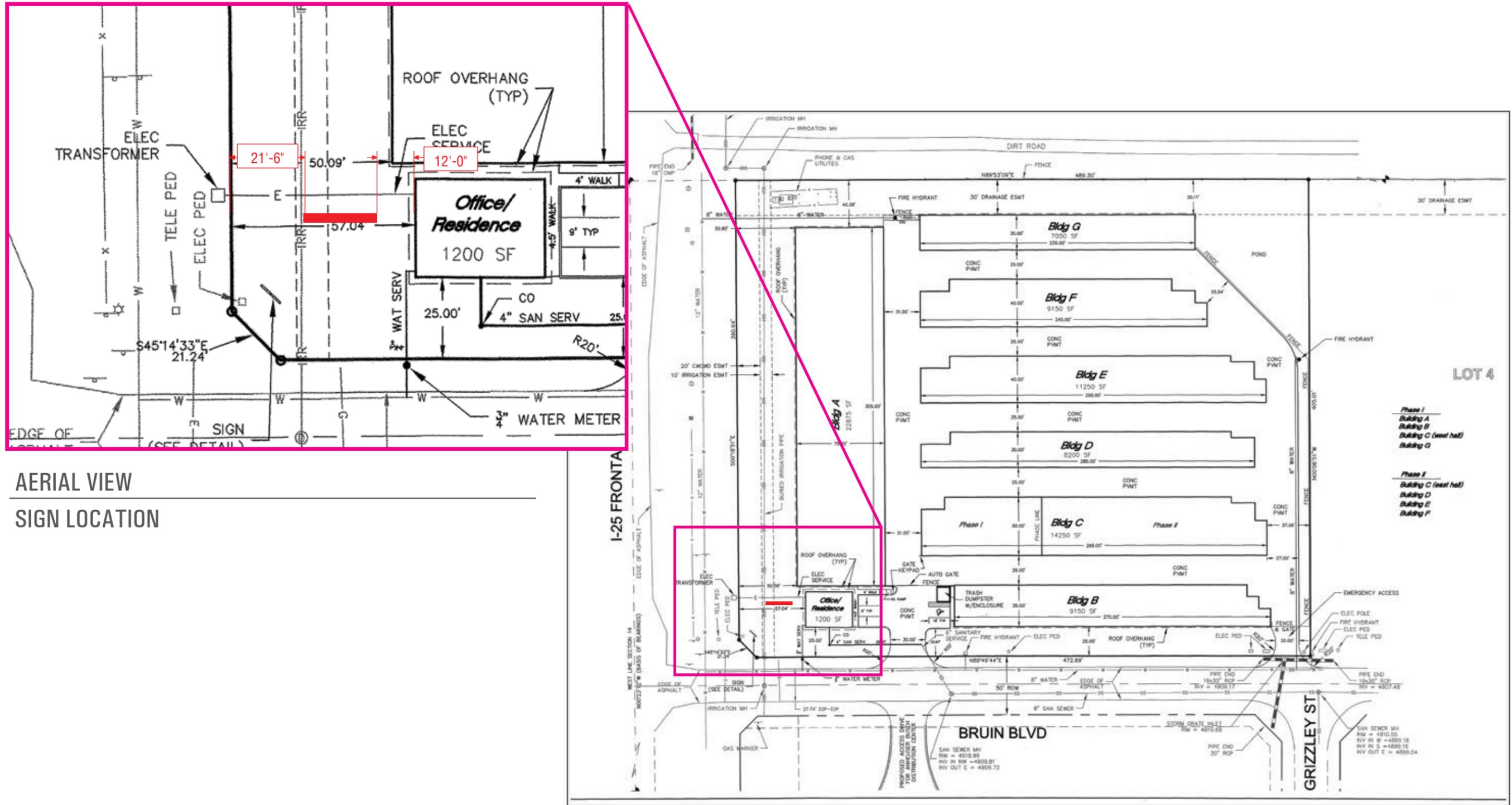
Financial Considerations:

Not applicable.

Staff Recommendation:

Staff is seeking Board direction on this application.

Exhibit A



AERIAL VIEW
SIGN LOCATION

Exhibit B

GUARDIAN SELF STORAGE PYLON / PYLON EMC SIGN OPTIONS

Proposed Sign Drawings



FRONT / BACK VIEW
1/4" = 1'-0"

QTY(1)
SIGN- 295 SQFT

SIDE VIEW



ILLUMINATED VIEW

SCOPE OF WORK

- MANUFACTURE & INSTALL NEW D/F INTERNALLY ILLUMINATED SIGN
- **TECH SURVEY REQUIRED PRIOR TO PRODUCTION**

COLOR KEY

- P1** MP - PMS 287 SATIN FINISH
- P2** MP - BLACK SATIN FINISH
- P3** MP - TBD (MATCH BUILDING)
- V1** SULTAN BLUE 3630-157 VINYL
- V2** KUMQUAT ORANGE 3630-74 VINYL

SIGN SPECIFICATIONS

- A CABINET**
24" DEEP ALUMINUM FRAME WITH 1/8" ALUMINUM ATTACHED & PAINTED WITH A SATIN FINISH.
2" RETAINERS TO HOLD FACES. SIGN INTERNALLY ILLUMINATED BY 6500-7000K WHITE LEDS. ATTACHED TO CENTER POLE
- B FACE**
778" WHITE PANAFLEX FACE WITH TRANS VINYL GRAPHICS APPLIED 1ST SURFACE
- C EMC DISPLAY**
16MM OPTEC INFINITY MOD AMBER DISPLAY
MATRIX SIZE - 420 x 45
ACTIVE AREA - 2' 4 3/8" x 22' 9/16"
CELL MODEM COMMUNICATIONS
DISPLAYS ATTACHED TO CENTER POLE WITH A INTERNAL STEEL FRAME STRUCTURE
EMC ENCLOSED ON ALL SIDES W/ ALUMINUM FILLER PANELS.
EMC CABINET HAS A 1.5" GAP ON BOTTOM FOR PROPER VENTILATION W/ (2) FANS PLACED ON EACH SIDE OF EMC
- D SKIN**
.080 ALUMINUM SKIN ATTACHED TO INTERNAL FRAME ALUMINUM PAINTED WITH A SATIN FINISH
- E POLE**
10" SCHEDULE 40 STEEL POLE.
10" POLE TO BE 10' BELOW GRADE.
***ESD DRAWING REQUIRED**
- F CAISSON**
3'-6" X 10' CONCRETE CAISSON FOR A 10" SCHEDULE 40 STEEL POLE
***ESD DRAWING REQUIRED**



7245 W. JIBRD PL
Brentwood, CO 80020
973-464-0634
www.bsccustom.com



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CLIENT / PROJECT NAME
GUARDIAN SELF STORAGE

ADDRESS
9051 Bruin Blvd. Frederick,
CO 80504

SALES / DESIGNER
MATT WILLIAMS
KYLE KUBERRA

DATE / CONCEPT
01.16.2020 SQ FT STUDY

FILE LOCATION
2020 Customer Art(Guardian Self Storage)(9051
Bruin Blvd. Frederick, CO 80504)Sign
Design)Concepts

Exhibit C

GUARDIAN SELF STORAGE EXISTING MONUMENT SIGN



VIEW OF EXISTING SIGN FROM NORTHBOUND I-25



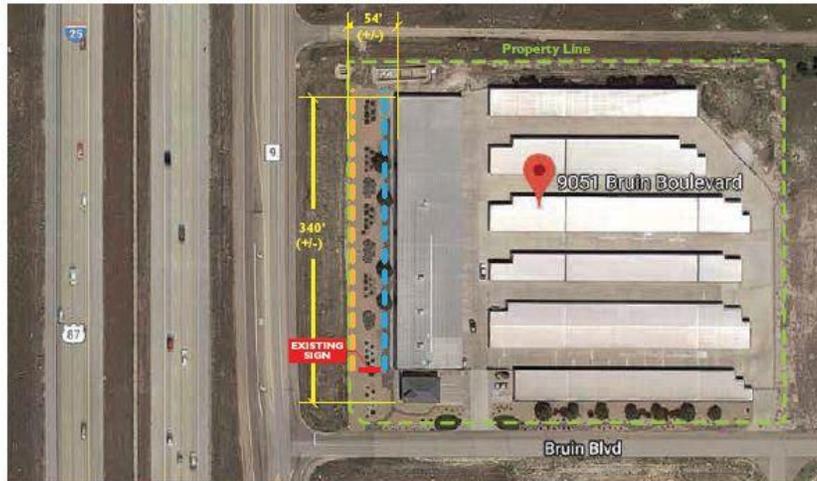
VIEW OF EXISTING SIGN FROM SOUTHBOUND I-25

Existing Monument Sign



EXISTING MONUMENT SIGN

1/4" = 1'-0"



Sign Location Plan
Not to scale

Site Address:
9051 Bruin Blvd
Frederick, CO 80504

Township Code: Town of Frederick
Zoning District: Industrial District (I)

Drawing Key

- Property Line
- 12' Setback (from building walls)
- 1' Setback (from property line)

Sign Allowance:
(Frederick Municipal Ordinance)

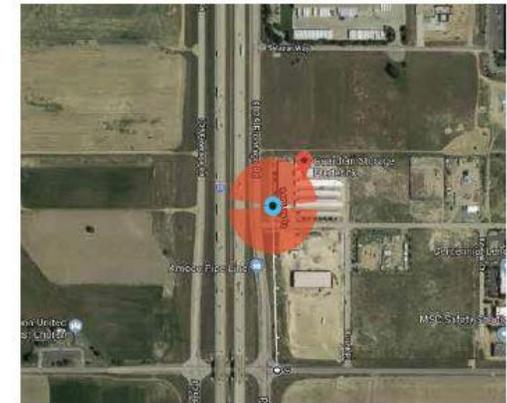
Sign Area:
Building frontage is 340 LF
1 SF per 2 LF for first 100ft = 50 SF
1 SF per 4 LF of 240ft = 60 SF
Total Permitted: 110 SF

Sign Height:
5% of Frontage (340') = 17'
Plus 10' for signs located along I-25
(not to exceed 25'H)
Max Height: 25' H

Required Setback:
Must be set back 1' from the property line
Must also be spaced at least 12' from building walls

Message Center:
Shall not occupy more than 45% of sign area
25 millimeter max. pixel pitch

Text	Letter Height	Readable Distance for Maximum Impact	Maximum Readable Distance
Logo Text ("G")	7"	70'	280'



Visibility Study
Not to scale



7245 W. 138th Pl.
Broomfield, CO 80020
303.464.6544
www.bsccustom.com



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CLIENT / PROJECT NAME
GUARDIAN SELF STORAGE

ADDRESS
9051 Bruin Blvd, Frederick,
CO 80504

SALES / DESIGNER
MATT WILLIAMS
KYLE KUBERRA

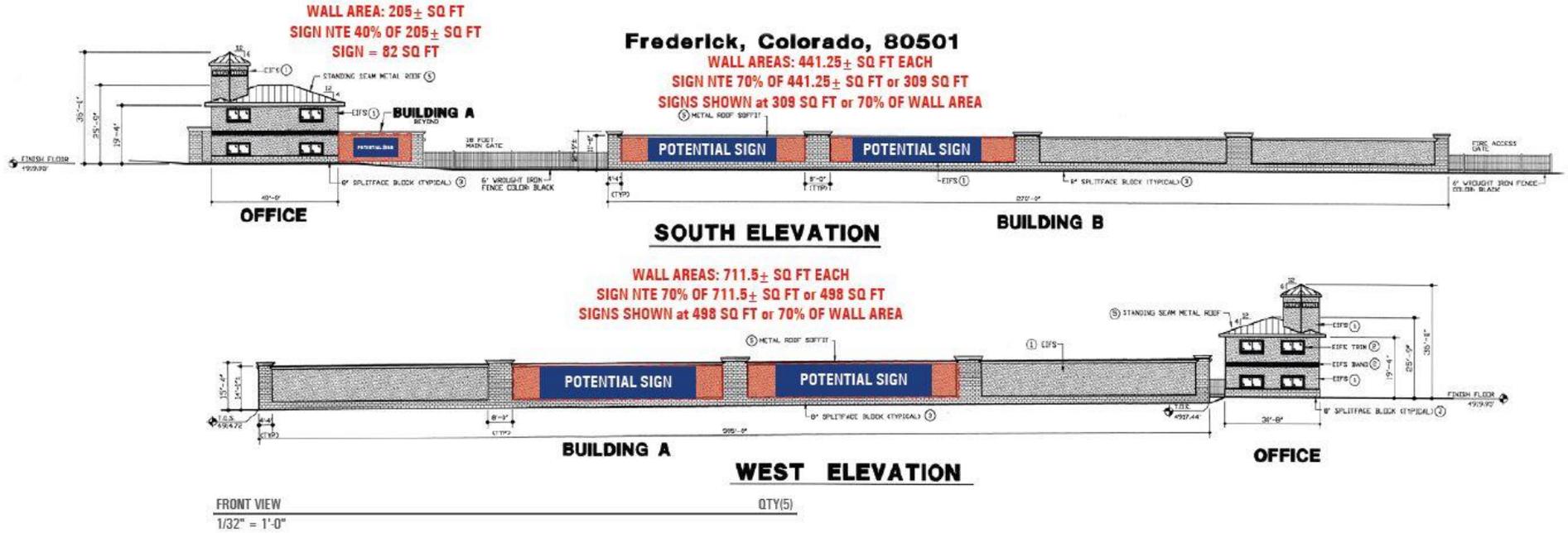
DATE / CONCEPT
01.16.2020 SQ FT STUDY

FILE LOCATION
2020 Customer Art/Guardian Self Storage(9051
Bruin Blvd, Frederick, CO 80504)/Sign
Design/Concepts

Exhibit D

GUARDIAN SELF STORAGE ALLOWABLE SQUARE FOOTAGE STUDY

ALLOWABLE SQUARE FOOTAGE STUDY: 1,696 SQ FT OF POTENTIAL SIGNAGE SHOWING



7245 W. 118TH PL.
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303.464.0644
www.bsccustom.com



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CLIENT / PROJECT NAME
GUARDIAN SELF STORAGE
SQUARE FOOTAGE STUDY

ADDRESS
9051 BRUIN BLVD
FREDERICK, CO 80504

SALES / DESIGNER
MATT WILLIAMS
KYLE KUBERRA

DATE / CONCEPT
01.16.2020 SQ FT STUDY

FILE LOCATION
2020 Customer Art/Guardian Self Storage/9051 Bruin Blvd, Frederick, CO 80504/Sign Design/Concepts

Exhibit D

GUARDIAN SELF STORAGE
ALLOWABLE SQUARE FOOTAGE STUDY

WALL SIGNAGE DUE TO LANDSCAPING AND HIGHWAY ELEVATION IS INEFFECTIVELY SEEN FROM I-25



VIEW OF SIGNAGE BEHIND EXISTING LANDSCAPING



EXISTING



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Broomfield, CO 80020
303.454.0644
www.bsccustom.com



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CLIENT / PROJECT NAME
GUARDIAN SELF STORAGE
SQUARE FOOTAGE STUDY

ADDRESS
9051 BRUIN BLVD
FREDERICK, CO 80504

SALES / DESIGNER
MATT WILLIAMS
KYLE KUBERRA

DATE / CONCEPT
01.16.2020 SQ FT STUDY

FILE LOCATION
2020 Customer Art(Guardian Self Storage(9051 Bruin Blvd, Frederick, CO 80504)Sign Design)(Concepts

**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-43**

**A RESOLUTION OF THE TOWN OF FREDERICK, COLORADO,
APPROVING A SIGN DESIGN PROGRAM FOR GUARDIAN STORAGE**

WHEREAS, the Town of Frederick pursuant to the Frederick Land Use Code Section 7.17 4 has the authority to approve a sign design program that differs from the strict compliance of the Land Use Code; and

WHEREAS, the proposed sign design program will substantially improve what is currently allowed by the Land Use Code.

**BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF
FREDERICK, COLORADO, AS FOLLOWS:**

Section 1. The Board finds that the proposed sign design program for Guardian Storage meets or exceeds the criteria in the Frederick Land Use Code Section 7.7 Subsection 4. and therefore, the sign design program allowing for 295 square foot sign is approved.

Section 2. This finding is specifically conditioned about the applicant applying for and being issued a building permit for the sign.

Section 3. Effective Date. This resolution shall become effective immediately upon adoption.

Section 4. Repealer. All resolutions, or parts thereof, in conflict with this resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 5. Certification. The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND SIGNED 12TH DAY OF MAY 2020.

ATTEST:

TOWN OF FREDERICK

By _____
Meghan C. Martinez, CMC, Town Clerk

By _____
Tracie Crites, Mayor



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Consideration of the Glacier Business Park 4th Filing Lot 3, Block 2 - G2 Motor Cars Conditional Use

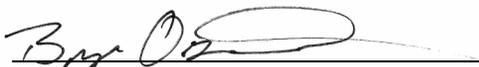
Agenda Date: Town Board Meeting - May 12, 2020

Attachments:

- a. Site Plan
- b. Resolution 20-R-44
- c. PCR-2020-05A
- d. Planning Commission Minutes

Finance Review: _____
Finance Director

Submitted by: _____
Ali van Deutekom
Planner

Approved for Presentation: _____

Town Manager

Quasi-Judicial Legislative Administrative

Summary Statement:

This is a request to consider a conditional use for an automotive sales business located in an existing multi-tenant building. The exact zoning use is "Auto, RV, boat and Truck sales" which are not "Permitted Uses" in any zoning district but are "Conditional Uses" in five zoning districts including I (Industrial).

Detail of Issue/Request:

Applicant: Grant Gorath

Owner: Giefer Enterprises, LLC

Built on What Matters.

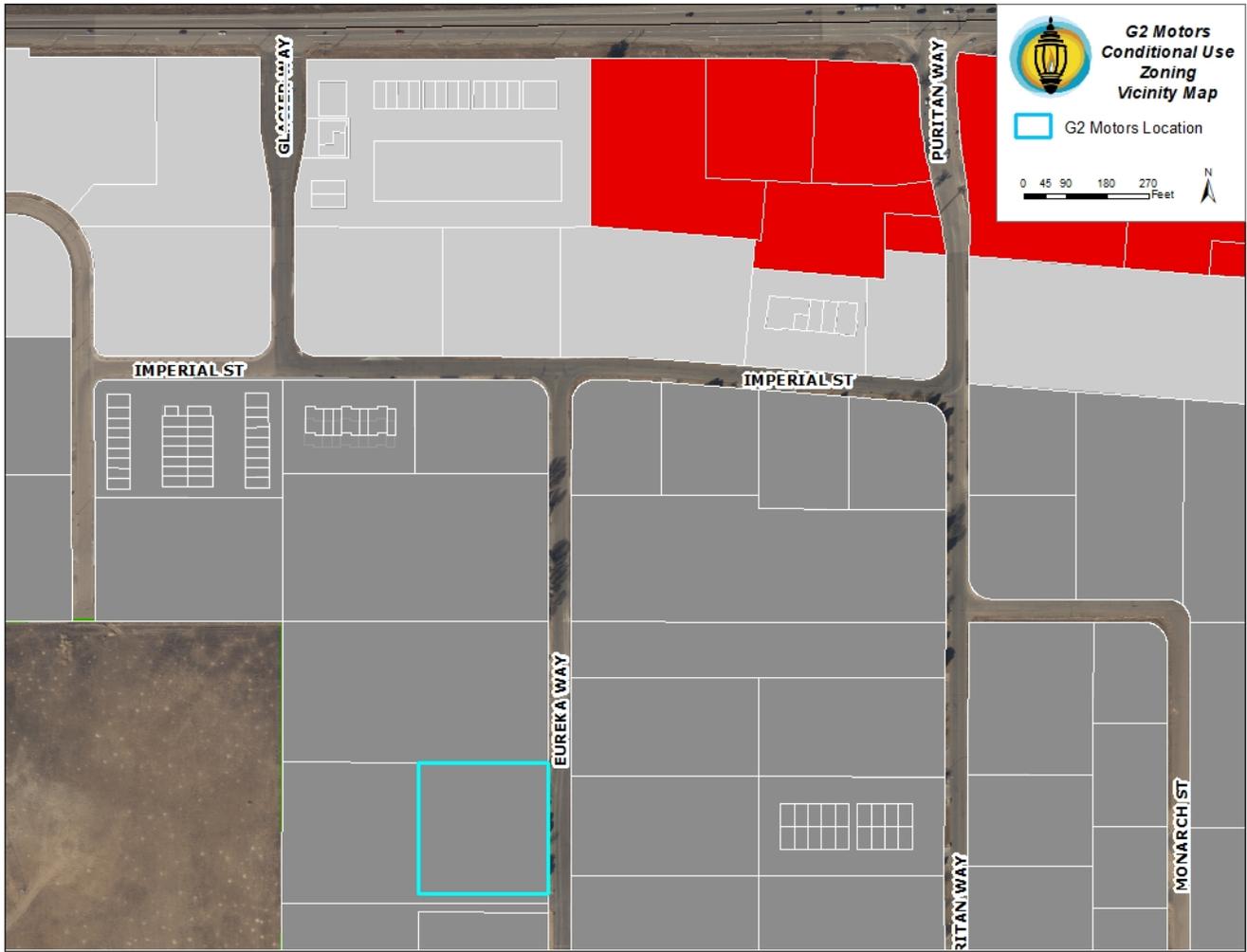
Location and Zoning:

The project site is located south of Imperial St., and west of Eureka Way. The address is 3770 Eureka Way unit A. The property is zoned I (Industrial).



Surrounding Land Uses and Zoning:

- North Land use: Boat and RV storage facility
Zoning: I (Industrial)
- South Land use: light industrial/manufacturing uses
Zoning: I (Industrial)
- West Land use: Construction contractor with outdoor storage
Zoning: I (Industrial)
- East Land use: light industrial/manufacturing uses
Zoning: I (Industrial)



Background Information:

The building at 3770 Eureka Way was constructed in 2002. The building is roughly 14,400 square feet and is broken into 3 tenant spaces with 17 shared parking spaces. There is a large outdoor storage area on the west side of the building. Over the years the occupants have mostly been light industrial/manufacturing users. G2 Motor Cars leased unit A, and is preparing to open the business if the conditional use is approved.

Request:

The lot on which the building is located is zoned I (Industrial) which means that this zoning district is intended to provide (“Permitted Uses”) a location for a variety of employment opportunities such as manufacturing, warehousing and distributing, indoor and outdoor storage and a wide range of commercial and industrial operations. The I District also accommodates complementary and supporting uses such as convenience shopping and child care centers. Locations for this District require good access to major arterial streets and adequate water, sewer and power. As noted, automotive sales is not a “Permitted Use” in the I Zoning District but is a “Conditional Use” which means the Planning Commission must recommend approval and the Town Board must grant the “Conditional Use”.

The request is to allow the Auto, RV, boat and Truck sales use. No changes to the building or site are

being proposed at this time. The owners, Grant and Doug Gorath, are the only employees of the business.

Conditional Use Review Criteria:

Section 4.9.4 of the Town of Frederick Land Use Code, sets forth the following review criteria for the proposed planning action.

1. The conditional use will satisfy all applicable provisions of this Code and subdivision regulations unless a variance is being requested.

Staff Comment: The building is existing and no variances are being requested.

2. The conditional use will conform with or further the goals, policies and strategies set forth in the Comprehensive Plan.

Staff Comment: The proposed conditional use is relevant to the following excerpt from the comprehensive plan Commercial & Industrial Areas goals and objectives:

Goal: Leverage Frederick's strategic location and developable areas to promote employment growth and achieve a jobs-housing balance.

Typically, automotive sales users want prominent locations with street frontage. This business has made use of an underutilized light industrial/warehouse space and associated parking lot. In doing so, they preserve a more prominent, street fronting location for a more desirable retail, restaurant or service user.

3. The conditional use will be adequately served with public utilities, services and facilities (i.e., water, sewer, electric, schools, street system, fire protection, public transit, storm drainage, refuse collection, parks system, etc.) and not impose an undue burden above and beyond those of the permitted uses of the district.

Staff Comment: All the public utilities, services and facilities were reviewed with the original site plan approval and are adequate for the automotive sales use.

4. The conditional use will not substantially alter the basic character of the district in which it is located or jeopardize the development or redevelopment potential of the district.

Staff Comment: The car inventory is kept completely within the existing building or in the outdoor storage area. The tenant space is allotted 3 parking spaces which includes a handicap parking space. The use does not alter the character of the district. The exterior of the building is consistent with other industrial/office/warehouse uses in the business park.

5. The conditional use will result in efficient on- and off-site traffic circulation which will not have a significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.

Staff Comment: The applicant has estimated that on a normal business day, three customer cars may visit the site. On a busy day, up to five customer cars may visit the site. These numbers are below what was estimated with the original traffic report for the building. There are two full time

employees, Grant and Doug Gorath.

6. Potential negative impacts of the conditional use on the rest of the neighborhood or of the neighborhood on the conditional use have been mitigated through setbacks, architecture, screen walls, landscaping, site arrangement or other methods. The applicant shall satisfactorily address the following impacts:

- (a) Traffic; and
- (b) Activity levels

Staff Comment: As stated earlier, there are fewer daily trips created by the automotive sales use than a typical office/warehouse use. There will be very little outdoor activity on the site. The applicant estimates 3-5 customers a day spend time outside looking at the vehicle they are interested in purchasing.

- (c) Light

Staff Comment: The building lighting was reviewed and approved with the original site plan application. No additional lighting was added for this use.

- (d) Noise
- (e) Odor

Staff Comment: There is very little noise associated with an automotive sales uses and no odors created by the facility. All maintenance and detailing are done within the building or offsite.

- (f) Building type, style and scale

Staff Comment: The building architecture was reviewed and approved with the original site plan application. No changes to the exterior are proposed.

- (g) Hours of operation

Staff Comment: The dealership hours are Monday-Saturday from 9:00am to 5:00pm. They are closed on Sunday.

- (h) Dust
- (i) Erosion control.

Staff Comment: The site is fully developed. There are no dust or erosion control concerns.

Public Notice:

This project was properly noticed according to the requirements of Section 4.5 of the Frederick Land Use Code. Staff received no comments on the project.

Planning Commission:

Planning Commission was held April 21, 2020, over a Zoom conference call. At the meeting, the members of the Planning Commission reviewed the proposal and found the project to be acceptable to move forward to hearing by the Board of Trustees. The Planning Commission recommended approval of the conditional use by approving PCR 2020-05A with a vote of 5-0.

Legal Comments:

The application has been reviewed by the Town Attorney, whose comments have been incorporated accordingly.

Alternatives/Options:

The Board of Trustees may recommend approval of the request, denial of the request, or approval of the request with conditions.

Financial Considerations:

Not applicable.

Staff Recommendation:

Staff recommends approval of the request as presented.

Eureka Way

Eureka Way

Eureka Way

3770 Eureka Way
11 min drive - home

G&G Equipment

B & M Roofing
of Colorado



CUST.
CUST.
CUST.



INVENTORY
PARKING
AREA

**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-44**

**A RESOLUTION OF THE TOWN OF FREDERICK, COLORADO,
APPROVING A CONDITIONAL USE FOR AN AUTOMOTIVE SALES BUSINESS**

WHEREAS, the Applicant, Grant Gorath, on behalf of the owner Giefer Enterprises, LLC, is proposing an automobile sales business on a lot zoned I (Industrial)); and

WHEREAS, an automotive sales business is a conditional use in an I (Industrial) zone; and

WHEREAS, the Frederick Planning Commission held a public hearing and recommended approval of the Conditional Use at its meeting on April 21, 2020; and

WHEREAS, the proposed Conditional Use satisfies all of the conditions in Article 4, Section 9 of the Frederick Land Use Code.

**BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF
FREDERICK, COLORADO, AS FOLLOWS:**

Section 1. Based on the presentations of the applicant and staff, the Board finds that the application satisfies all of the review criteria for a conditional use and the conditional use should be granted for the property for an automotive sales business in this I (Industrial) zone district.

Section 2. Effective Date. This resolution shall become effective immediately upon adoption.

Section 3. Repealer. All resolutions, or parts thereof, in conflict with this resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 4. Certification. The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND SIGNED THIS 12TH DAY OF MAY 2020.

ATTEST:

TOWN OF FREDERICK

By _____
Meghan C. Martinez, CMC, Town Clerk

By _____
Tracie Crites, Mayor

1 **PCR-2020-05A**

2 **A Resolution of the Planning Commission**

3 **Recommending Approval of the Glacier Business Park 4th Filing Lot 3, Block 2**

4 **Conditional Use**

5
6 Be it resolved by the Planning Commission of the Town of Frederick, Colorado:

7
8 Section 1. The Frederick Planning Commission finds that:

9 1.1 An application for the Glacier Business Park 4th Filing Lot 3, Block 2-
10 Conditional Use has been submitted.

11 1.2 Said application was found to be complete through the review process.

12 1.3 Said application was considered during a public meeting held April 21, 2020.

13 1.4 Proper notice was given according to Section 4.5 of the Frederick Land Use Code.

14 1.5 Said application conforms with the applicable requirements of Section 4.9.4 of the
15 Frederick Land Use Code.

16 Section 2. This resolution constitutes the written report, findings and decision of the Town
17 of Frederick Planning Commission.

18 Section 3. On the basis of the above, the Town of Frederick Planning Commission
19 recommends approval of the application.

20
21 This resolution approved this 21st day of April, 2020 by a vote of 5 to 0.

22
23 

24 _____
Tracy Moe, Chairperson, Planning Commission

25
26
27
28
29
30



401 Locust Street • P.O. Box 435 • Frederick, CO
80530-0435

Phone: (720) 382-5500 • Fax: (720) 382-5520

www.frederickco.gov

MINUTES
TOWN OF FREDERICK
PLANNING COMMISSION
VIRTUAL MEETING CONDUCTED VIA ZOOM
April 21, 2020
6:30 PM

CALL TO ORDER: At 6:30 p.m. Chairperson Moe called the meeting to order and requested roll call.

ROLL CALL:

- Present: Chairperson Moe, Vice Chair teVelde, Commissioners Conroy and Stark, Alternate Commissioner Blair
- Staff: Planning Director Jennifer Simmons, Planners Ali van Deutekom and Maureen Welsh, Engineer Jason Berg, Town Attorney Rick Samson and Town Clerk Meghan Martinez

APPROVAL OF AGENDA: There were no changes to the agenda as presented.

APPROVAL OF FEBRUARY 4, 2020 MINUTES: Motion by Commissioner Conroy and seconded by Commissioner Stark to approve the February 4, 2020 Minutes. Upon roll call vote, motion passed unanimously.

CONSIDERATION OF THE PROSPERITY PRELIMINARY PLAT:

Planner Ali van Deutekom presented the proposed preliminary plat. The applicant Rick Jablonski was present and addressed the commission. Mr. Hurst was also present on behalf of the applicant and addressed the commission.

Motion by Commissioner Stark and seconded by Commissioner Scott to approve PCR-2020-03C with conditions as outlined by staff. Upon roll call vote, motion passed 4-1 with Commissioner Conroy voting no.

PUBLIC HEARING CONSIDERATION OF THE COLORADO WEST CONDITIONAL USE:

Planner Maureen Welsh presented the proposed conditional use. The applicants Gordan Wooley, Jeff Koza, and OB Begley were present and addressed the commission.

At 7:35 Chairperson Moe opened the public hearing.

At 7:36 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Vice Chair teVelde to approve PCR-2020-04A. Upon roll call vote, motion passed unanimously.

PUBLIC HEARING CONSIDERATION OF THE G2 MOTOR CARS CONDITIONAL USE:

Built on What Matters.

Planner van Deutekom presented the proposed conditional use application. The applicant Grant Gorath was present and addressed the commission.

At 7:48 Chairperson Moe opened the public hearing.

At 7:48 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Commissioner Stark to approve PCR-2020-05A. Upon roll call vote, motion passed unanimously.

OTHER BUSINESS:

Planning Director Jennifer Simmons indicated that the next Planning Commission meeting is on May 5, 2020 and may be conducted via Zoom.

There being no further business of the Planning Commission, Chairperson Moe adjourned the meeting at 7:50PM.

Approved by the Planning Commission:

Tracy Moe, Chairperson

ATTEST:

Meghan Martinez, Town Clerk



TOWN OF FREDERICK

Board of Trustees

Action Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Consideration of the Prosperity Preliminary Plat

Agenda Date: Town Board Meeting - May 12, 2020

Attachments:

- a. Proposed Plat
- b. Proposed Landscape Plan
- c. Detail drawing of the Angel View Drive raised crosswalk
- d. Resolution 20-R-45
- e. Angel View Estates Petition 6-3-19
- f. Bata letter 2-16-20
- g. Benz letter 6-27-18
- h. Brady letter 2-15-20
- i. Blakslee letter 2-17-20
- j. Holcomb letter 2-26-20
- k. Letter regarding ROW and easement dedication (Hepp) 2-20-20
- l. Savannah Subdivision Petition 4-29-20
- m. Barnett letter 4-29-20
- n. PCR-2020-03C
- o. Planning Commission Minutes

Finance Review:

Finance Director

Submitted by:

Ali van Deutekom

Planner

Approved for Presentation:



Town Manager

Quasi-Judicial

Legislative

Administrative

Summary Statement:

This is a request to consider a new subdivision with 206 single family detached dwelling unit lots.

Detail of Issue/Request:

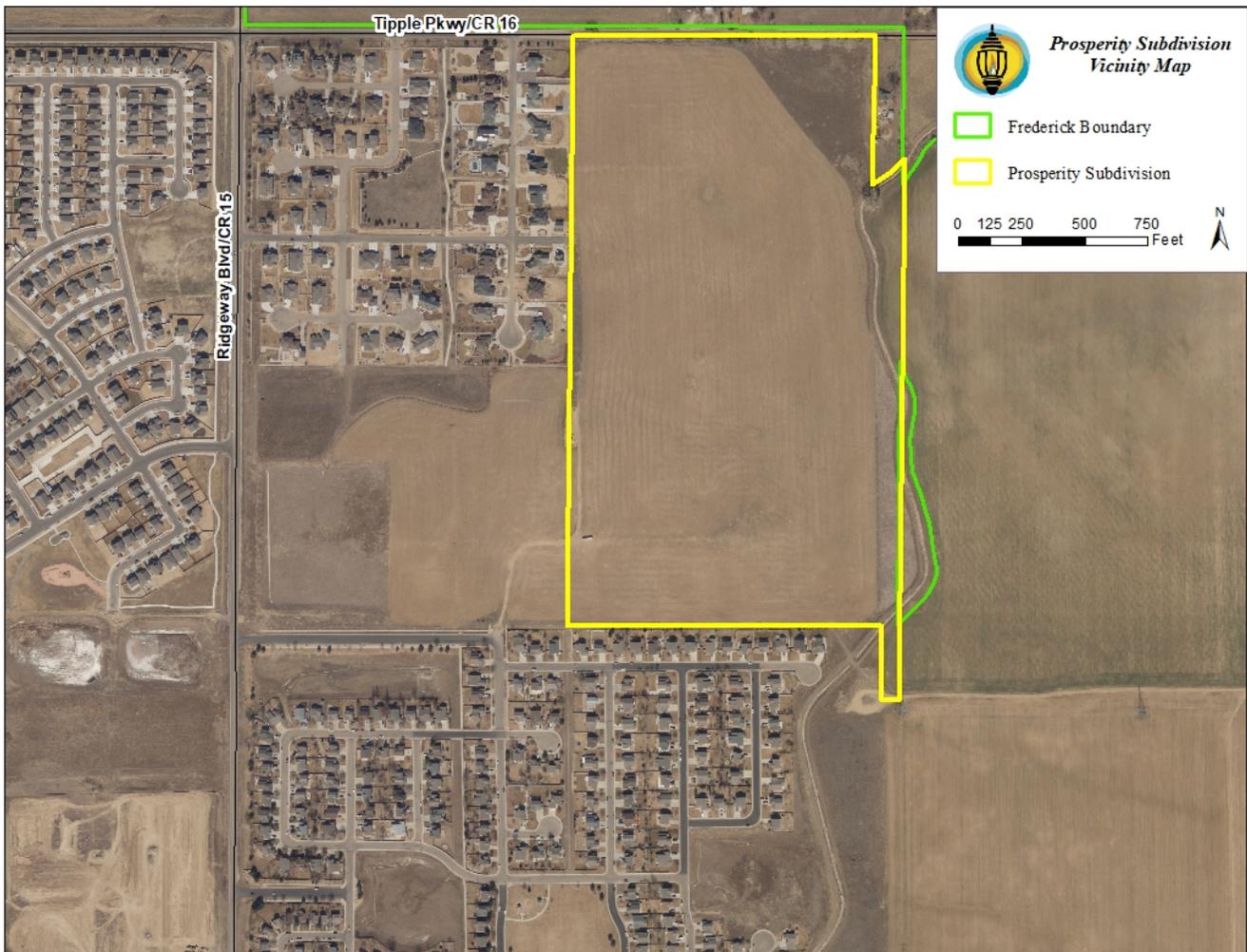
Applicant: Rhonda Dick, Hurst & Associates

Owner: Jablonski Family LLLP

Location and Zoning: The property is generally located south of Tipple Parkway, a quarter mile east of Ridgeway Blvd, a half mile north of Highway 52 and a half mile west of Wheatland Blvd. The Zoning is R-1 (residential low density).

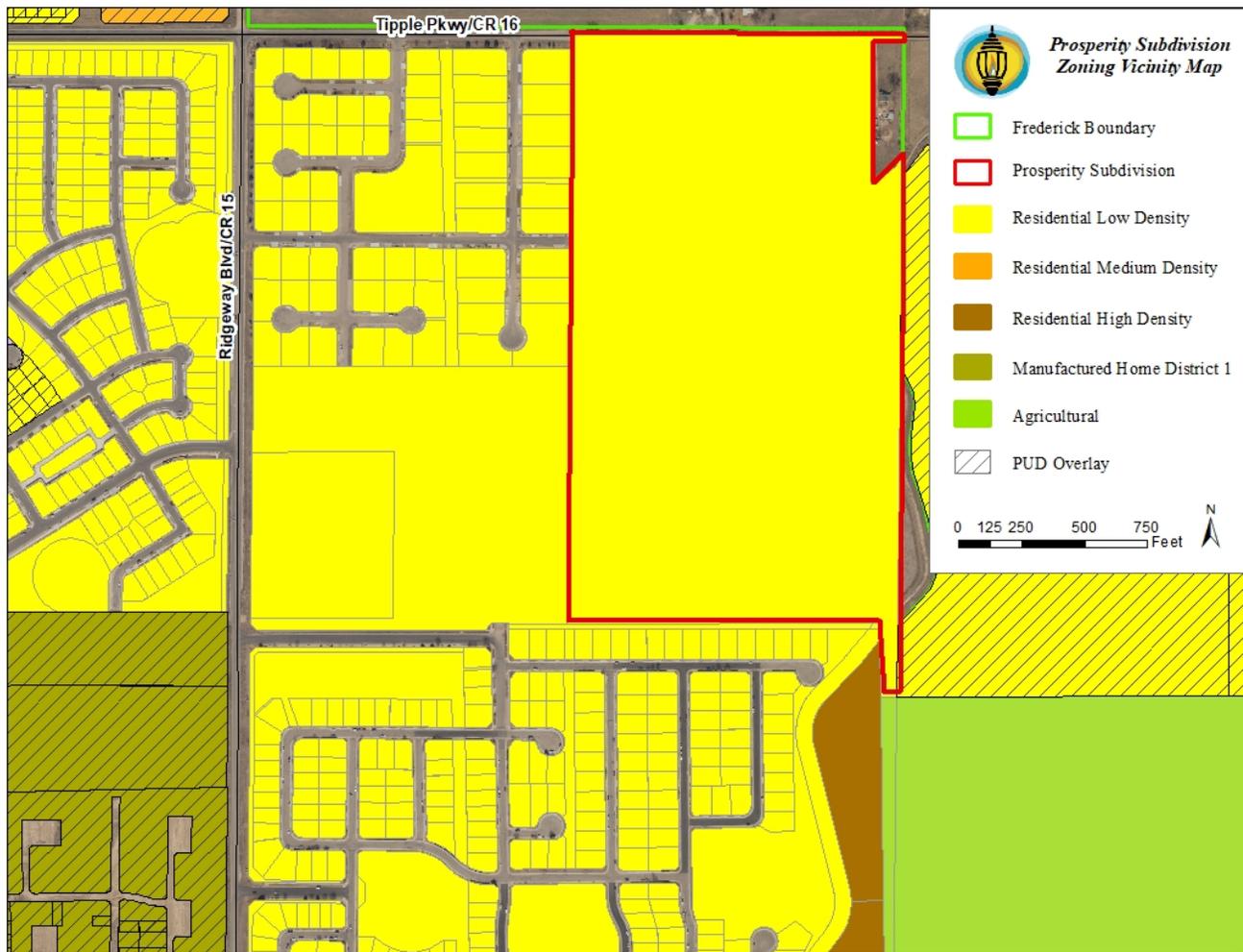
Surrounding Land Uses and Zoning:

Vicinity Map:



North	Land use: single family dwelling Zoning: Weld County Ag (Agricultural)
South	Land use: single family dwellings (Savannah Subdivision) Zoning: R-1 (residential low density)
West	Land use: single family dwellings (Angel View Estates Subdivision) Zoning: R-1 (residential low density)
East	Land use: vacant land/ single family dwelling Zoning: R-1 (residential low density) with a PUD overlay and Weld County Ag (Agricultural)

Zoning Vicinity Map:



Background Information:

The property was annexed into the Town in 1976. On August 14, 2018, the Board of Trustees approved the request for R-1 (Residential Low Density) zone district on the property.

The Comprehensive Plan designates this property as single family detached which is consistent with the zoning of R-1.

Request:

This is a request to approve a preliminary plat, which consists of 206 single family detached lots, and a 4-acre neighborhood park, on 69.78 acres.

Review Criteria:

The Town of Frederick Land Use Code section 4.7.4 sets forth the following review criteria.

Preliminary Plat Review Criteria Analysis:

1. The preliminary plat represents a functional system of land use and is consistent with the rationale and criteria set forth in this Code and the Comprehensive Plan.

Staff Comment: The intent of the Land Use Code R-1 zone district and the Comprehensive Plan single-family detached residential land use is low-density housing. It is intended primarily for single-family homes on individual lots. The zone is characterized by tree-lined local streets and an interconnected pedestrian circulation system with a close proximity to schools and parks. This preliminary plat is consistent with both the intent of the Land Use Code and Comprehensive plan designations.

2. The application is consistent with the approved sketch plan and incorporates the Planning Commission's recommendations and conditions of approval.

Staff Comment: There is not an approved sketch plan on this property; it is not a requirement.

3. The land use mix within the project conforms to the Town's Zoning District Map and Comprehensive Land Use Map and furthers the goals and policies of the Comprehensive Plan, including:

- (a) The proposed development promotes the Town's small-town, rural character;
- (b) Proposed residential development adds diversity to the Town's housing supply;
- (c) Proposed commercial development will benefit the Town's economic base;
- (d) Parks and open space are incorporated into the site design;
- (e) The proposed project protects the Town's environmental quality; and
- (f) The development enhances cultural, historical, educational and/or human service opportunities.

Staff Comment: The zoning and land use comply with the Zoning and Land Use Map. The following goals of the Comprehensive Plan are being met:

The Prosperity Subdivision will further promote the Town's small-town character by providing family-friendly, single family detached lots with access to a neighborhood park and tree-lined streets.

As of January 2020, the Town's housing supply consists of 4,560 single family detached dwelling units and 87 multi-family or attached single family homes. This means over 98% of the Town's housing supply is single-family detached residences. While this proposal does not add to the diversity of the Town in that regard, it does provide a larger lot, R-1 subdivision. This product type has served the Town well. A majority of the lots proposed in Prosperity are 7,000-8,000 square feet. The minimum lot size in the R-1 zoning district is 6,250 square feet. Most of the Town's new residential construction is happening within PUD's where the typically lot size is 5,500 square feet.

There is a 4-acre neighborhood park and the project will dedicate 20.5% of the total acreage to open space. Above the requirements of the code, the applicant is providing almost two miles of trails that encircle and intersect the subdivision.

4. The utility and transportation design is adequate, given existing and planned capacities of those systems.

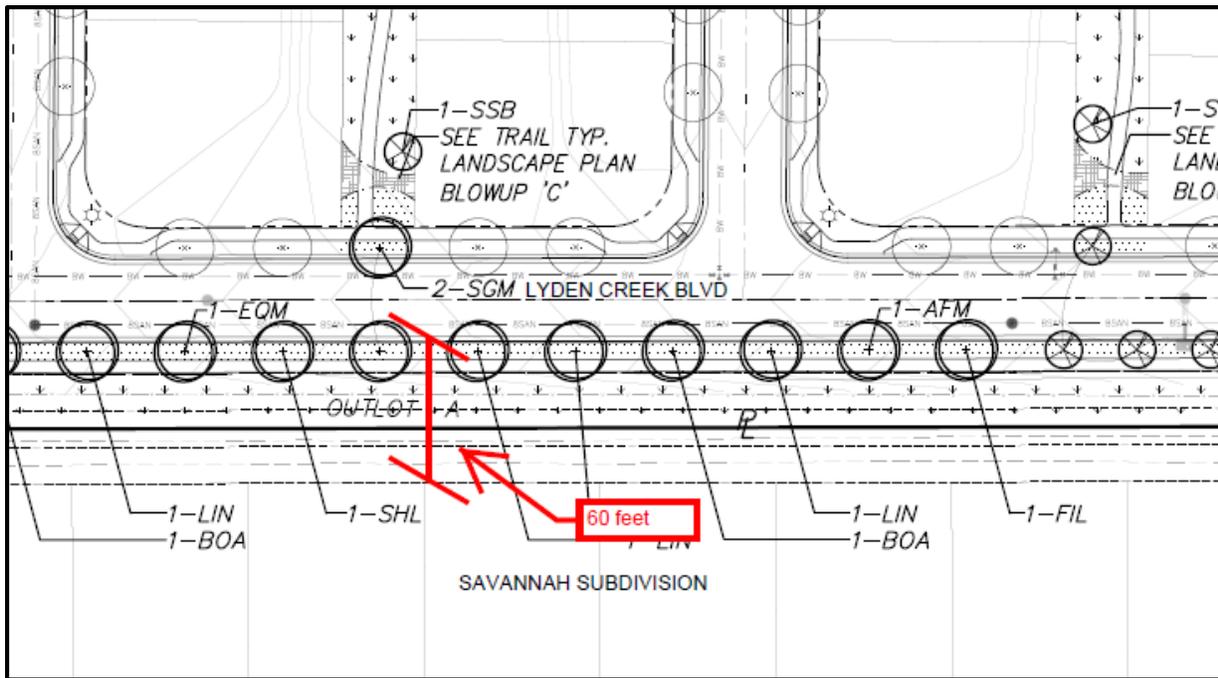
Staff Comment: With the construction of the Prosperity Subdivision, Tipple Parkway will be improved along the northern boundary. Lyden Creek Boulevard will be realigned and extended along the southern boundary, as a modified collector street. The layout and connectivity of the streets is adequate. The Town has received commitment to serve letters from each of the utility providers. The applicant is working through final details of the street and utility systems. These details will be provided at the time of final plat.

5. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.

Staff Comment: From the Land Use Code perspective, there are no negative impacts on the adjacent land uses. The concerns that follow have been raised by residents in adjacent neighborhoods.

Comments from Neighbors: The Prosperity Subdivision will bring down property values in the Savannah Subdivision. Lyden Creek Boulevard is too close to the homes in the Savannah Subdivision.

Staff Response: The south property line of Prosperity Subdivision abuts the Savannah Subdivision. The Savannah Subdivision provides a 25-foot outlot with a trail along its northern border. In addition, the applicant is providing a 35-foot landscaped buffer along its southern border making a separation distance of 60 feet between the Savannah Subdivision lots and Lyden Creek Boulevard (see following exhibit).



Comments from Neighbors: The residents in Angel View have voiced concern about their property values dropping due to this development.

Staff Response: Along the western property line of Prosperity is the Angel View Estates Subdivision. The applicant has willingly provided an outlot with a trail directly adjacent to Angel View Estates. And as stated earlier, the applicant is proposing larger lots than required by the R-1 zone district.

Comments from Neighbors: Overwhelmingly, the objection to this project has been the extension of Angel View Drive.

Staff Response: The Angel View Drive connection was platted with the Angel View Estates plat in 2000 and was stubbed to the eastern property line when Angel View Estates was constructed. The intent was always to connect to the future neighborhoods to the east.

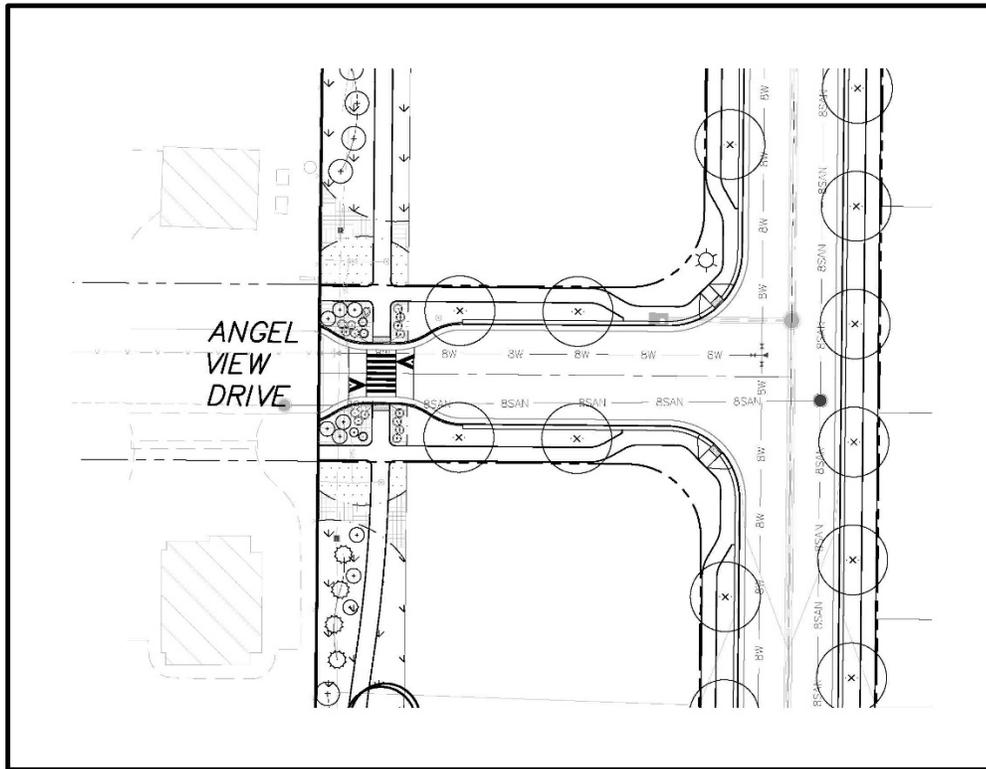
Section, 2.5.2.a. of the Land Use Code states new neighborhoods shall consider integrating: “street, sidewalk and trail connections within new neighborhoods that connect to adjacent existing neighborhoods and strengthen the connection to the existing Town. Furthermore, Section 2.7.2 of the Land Use Code states “local streets shall provide for both intra- and inter-neighborhood connections to knit developments together, rather than forming barriers between them. All streets should interconnect to help create a comprehensive network of public areas to allow for free movement of cars, bicycles and pedestrians.”

The benefits to neighborhood street connections are: less congested/concentrated traffic on primary routes, more efficient access for emergency services, school buses, garbage pick-up, mail delivery, and snow removal; shorter trips between neighborhoods which increases pedestrian and bicycle trips

and lower carbon footprints. Reversing missed connections is extremely difficult and expensive if done so, in the future.

Staff has heard and is sympathetic to the neighborhood concerns. However, it is the job of staff to ensure the project meets the Land Use Code and follows best practice planning concepts. And for that reason, the plat presented within this report shows Angel View Drive connecting. Town staff has worked with the applicant to go above and beyond code requirements to lessen the impact of the street connection on the Angel View Estates Subdivision (see exhibit B). They have designed a raised platform with a neckdown to force traffic to slow down once it meets the 60-foot wide Angel View Drive right-of-way. The applicant has designed a street connection that dead ends upon entering the Prosperity Subdivision. These additional items make this route far less attractive for vehicles and more attractive for pedestrians and bicycles.

(exhibit B)



In addition, the applicant will construct two additional access points to the existing arterial roadway system, one at Tipple Parkway and one at Lyden Creek Boulevard. Both of these roadways will be improved. The applicant is also providing a future street connection to the east property line to give additional options for travel when the Town grows further east. Significant effort has been made to create a layout that meets the Town's Land Use Code and attempts to alleviate the concerns of neighbors in Angel View Estates.

6. There is a need or desirability within the community for the applicant's development, and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

Staff Comment: In the Comprehensive Plan, this property is designated as being within the priority growth area because of its proximity to downtown and existing infrastructure. The proposed development is relevant to the following excerpt from the Comprehensive Plan Residential Neighborhoods:

Goal 2: Encourage development within the Primary Growth Area to leverage existing community facilities and infrastructure.

Goal 4: Ensure residential developments demonstrate multi-modal connectivity.

Single-family detached residential land uses are the predominant housing type within Frederick and will continue to serve as the prevailing residential land use.

Public Notice:

This project was properly noticed according to the requirements of Section 4.5 of the Frederick Land Use Code. The neighborhood meeting was held November 14, 2018. There were 8 residents who attended and asked the following questions:

- Does Angel View Drive have to connect to your community?
- How do we contact staff to voice our objections to connect to Angel View Drive?
- Will your project drain to our lots (Angel View Estates west of Prosperity)?
- I just moved to Colorado and you should build near I-25 and leave this property as open space. You should increase the south buffer to 150' wide.
- How wide are the streets?
- How will construction traffic enter the site?
- What is the size of the oil/gas well access easement on the Savannah property (south of Prosperity)?
- When will you start building?
- Why are the lots half the size of ours?
- How are you going to improve County Road 15?

Staff has received a large amount of opposition to this project including a petition signed by 60 of the Angel View Estates residents and a petition from the Savannah Subdivision residents with 33 signatures. Staff has attached the petitions and additional correspondence the Town has received.

Planning Commission:

The virtual Planning Commission meeting was held April 21, 2020. At the meeting, the members of the Planning Commission reviewed the proposal and found the project acceptable to move forward to hearing

by the Board of Trustees. The Planning Commission recommended approval of the preliminary plat with conditions by approving PCR 2020-05C with a vote of 4-1. The Commission had a lengthy discussion and asked the following questions of staff:

-Where will the construction traffic be routed and who is responsible for fixing any road damage?

Staff: The construction traffic will be sent down Tipple Parkway and the developer will be responsible for any damage to the roads.

-Will stormwater from Prosperity travel into the Angel View Estates subdivision?

Staff: The stormwater travels to the southwest corner and outfalls onto Outlot B of Angel View Estates Subdivision. It does not travel through the developed portion of the Angel View Estates neighborhood.

-How many access points are required for the subdivision?

Staff: Typically for fire, two points of access are required. Lyden Creek Boulevard will be realigned and connected. Tipple Parkway and Angel View Drive will be additional points of access and staff has required a future connection to the east to be shown.

-Will Prosperity have curb and gutter? Angel View Estates does not have curb and gutter. How will that work?

Staff: Everything drains to the south. The fact that Angel View Estates does not have curb and gutter will be a non-issue.

The Planning Commission asked the applicant the following questions:

-How will you keep construction traffic out of the neighborhood?

Applicant: That is a conversation he would have with his subcontractors and written into their contracts. The applicant is also willing to install signs.

-What will the median price of the homes be?

Applicant: It's hard to know for sure but he expects \$400,000 like Maple Ridge II. The developer is currently building the homes in Maple Ridge II.

-Where is the road connection to the east?

Applicant: It is at the southeast corner. It would be an extension of Lyden Creek Boulevard across the ditch. The ditch crossing is not shown on the drawings at this time.

Legal Comments:

The application has been reviewed by the Town Attorney, whose comments have been incorporated accordingly.

Alternatives/Options:

The Board of Trustees may recommend approval of the request, denial of the request, or approval of the request with conditions.

Financial Considerations:

Not applicable.

Staff Recommendation:

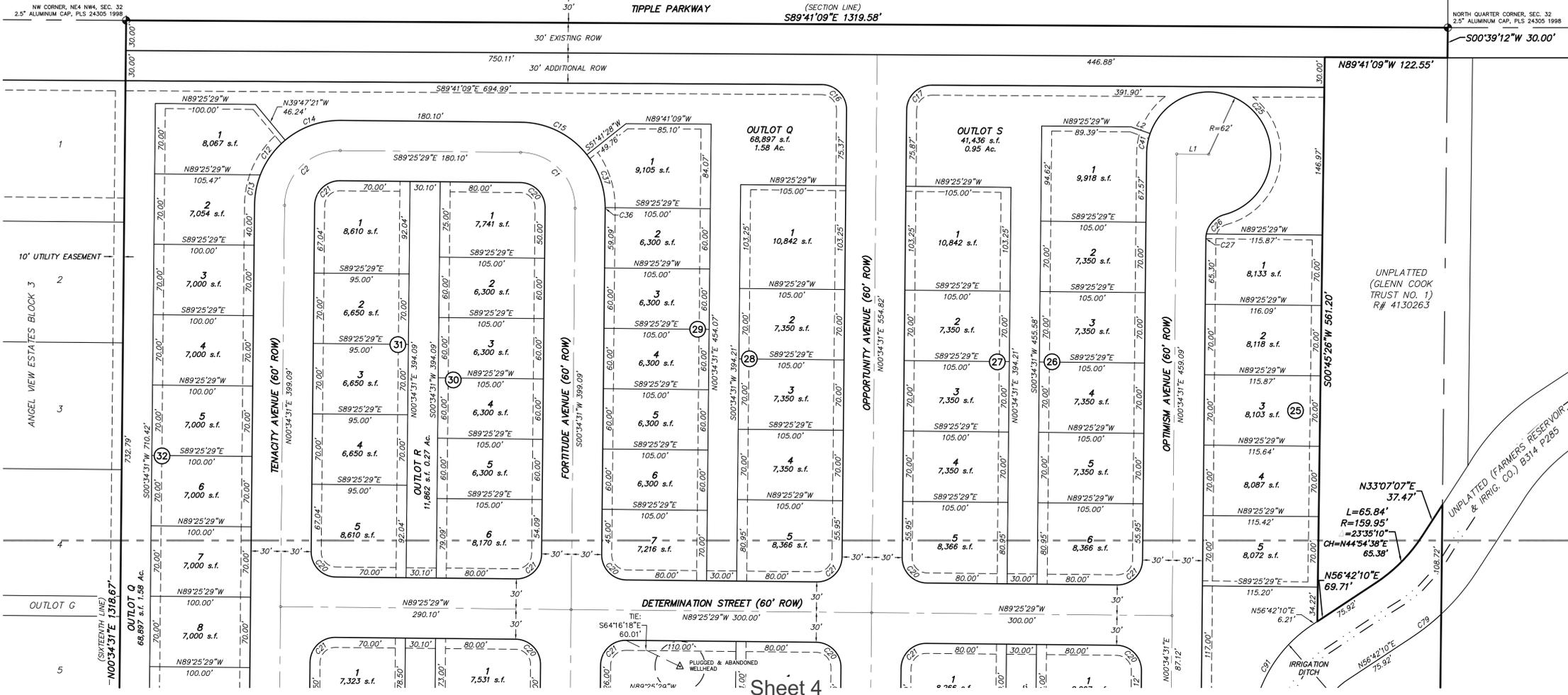
Staff requests The Board of Trustees approve the resolution as presented, with the following condition:

1. The dedication of right-of-way for the extension of Lyden Creek Boulevard and permanent drainage and raw water pond easements on Outlot B of Angel View Estates must be accepted and recorded prior to the recording of this preliminary plat.

PRELIMINARY PLAT PROSPERITY SUBDIVISION

RECORDED EXEMPTION NO.
1311-29-2-RE 947 LOT B
WELD COUNTY ZONED A

SCALE VERIFICATION
BAR IS ONE INCH
ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	86.39'	55.00'	90°00'00"	N44°25'29"W	77.78'
C2	86.39'	55.00'	90°00'00"	S45°34'31"W	77.78'
C12	42.98'	85.00'	28°58'05"	N35°43'36"E	42.52'
C13	30.66'	85.00'	20°40'02"	N10°54'32"E	30.49'
C14	59.88'	85.00'	40°21'52"	S70°23'35"W	58.65'
C15	75.83'	85.00'	51°06'57"	N63°52'00"W	73.34'
C16	39.38'	25.00'	90°15'40"	S44°33'19"E	35.44'
C17	39.16'	25.00'	89°44'20"	N45°26'41"E	35.27'
C20	39.27'	25.00'	90°00'00"	S44°25'29"E	35.36'
C21	39.27'	25.00'	90°00'00"	N45°34'31"E	35.36'
C22	39.38'	25.00'	90°15'40"	S44°33'19"E	35.44'
C23	39.16'	25.00'	89°44'20"	N45°26'41"E	35.27'
C25	255.19'	62.00'	235°49'41"	N42°40'12"W	109.57'
C26	27.86'	25.00'	63°50'32"	N43°19'23"E	26.44'
C27	4.72'	25.00'	10°49'35"	S05°59'19"W	4.72'
C36	0.91'	85.00'	0°36'57"	N00°16'03"E	0.91'
C37	56.77'	85.00'	38°16'06"	S19°10'29"E	55.72'
C38	75.83'	85.00'	51°06'57"	N63°52'00"W	73.34'
C39	59.88'	85.00'	40°21'52"	S70°23'35"W	58.65'
C41	20.96'	62.00'	19°22'17"	N09°43'50"E	20.86'
C79	37.80'	224.95'	9°37'41"	N51°53'20"E	37.76'
C91	121.81'	135.00'	51°41'54"	N30°51'14"E	117.72'

LINE TABLE

LINE	BEARING	LENGTH
L1	S89°25'29"E	32.00'
L2	S70°35'02"E	20.00'

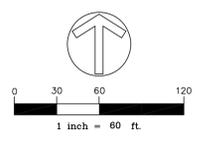
SURVEYORS STAMP:

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HURST & ASSOCIATES, INC.
1265 S Public Road, Suite B
Louisville, CO 80026
303.449.9105

PRELIMINARY PLAT
PROSPERITY SUBDIVISION
FREDERICK, COLORADO

DRAWN BY: BO
DESIGNED BY:
APPROVED BY:
JOB NUMBER: 2526-03
DATE: 03/13/20
SCALE: 1"=60'
SHEET NO. 3

EASEMENT INFORMATION:
ALL RESIDENTIAL LOTS SHALL HAVE THE FOLLOWING EASEMENTS:
- 10' UTILITY EASEMENT ALONG RIGHTS OF WAY
- 10' DRAINAGE AND UTILITY EASEMENT ALONG REAR LOT LINE
- 5' DRAINAGE AND UTILITY EASEMENT ALONG SIDE LINE
ADJACENT TO TRACTS AND REAR OF OTHER RESIDENTIAL LOTS
ALL TRACTS SHALL HAVE A 10' UTILITY EASEMENT ALONG RIGHTS OF WAY



Sheet 4

PRELIMINARY PLAT PROSPERITY SUBDIVISION

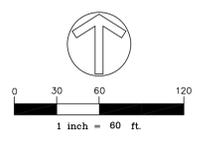
Sheet 3



Sheet 5

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C3	33.87'	475.00'	4'05'08"	N02°37'05"E	33.86'
C4	470.95'	1250.00'	21°35'12"	S107°3'05"E	468.17'
C5	86.39'	55.00'	90°00'00"	N45°34'31"E	77.78'
C6	33.93'	475.00'	4'05'33"	S02°36'53"W	33.92'
C7	178.96'	475.00'	21°35'12"	N107°3'05"W	177.90'
C20	39.27'	25.00'	90°00'00"	S44°25'29"E	35.36'
C21	39.27'	25.00'	90°00'00"	N45°34'31"E	35.36'
C28	22.88'	1280.00'	1'01'27"	N00°03'48"E	22.88'
C29	70.01'	1280.00'	3'08'02"	N02°00'57"W	70.00'
C30	70.01'	1280.00'	3'08'02"	N05°08'58"W	70.00'
C31	70.01'	1280.00'	3'08'02"	N08°17'08"W	70.00'
C32	70.01'	1280.00'	3'08'02"	N11°25'01"W	70.00'
C33	30.00'	1280.00'	1'20'35"	S13°39'20"E	30.00'
C34	70.01'	1280.00'	3'08'02"	N15°53'58"W	70.00'
C35	70.01'	1280.00'	3'08'02"	N19°01'39"W	70.00'
C42	39.23'	25.00'	94°05'09"	S42°22'55"E	35.33'
C43	17.01'	85.00'	11°28'01"	S06°18'32"W	16.98'
C44	9.31'	1280.00'	0°25'00"	N20°48'10"W	9.31'
C45	23.30'	445.00'	3'00'02"	N19°30'40"W	23.30'
C46	89.13'	445.00'	11°28'31"	N12°16'23"W	88.98'
C52	36.01'	504.96'	4'05'08"	N02°37'05"E	36.00'
C53	41.05'	25.00'	94°05'08"	S42°22'55"E	36.59'
C54	116.51'	85.00'	78°31'59"	N51°18'32"E	107.60'
C57	36.07'	505.00'	4'05'33"	S02°36'53"W	36.06'
C62	31.73'	445.00'	4'05'08"	N02°37'05"E	31.72'
C67	105.51'	360.00'	16°47'31"	S13°48'05"E	105.13'
C68	190.26'	505.00'	21°35'12"	N107°3'05"W	189.14'
C72	94.54'	195.00'	27°46'39"	N09°42'40"W	93.61'
C73	107.34'	215.00'	28°36'16"	N09°17'51"W	106.23'
C75	60.21'	360.00'	9°34'59"	S00°36'50"E	60.14'
C78	165.72'	360.00'	26°22'30"	S09°00'35"E	164.26'
C79	37.80'	224.95'	9°37'41"	N51°53'20"E	37.76'
C80	63.16'	70.00'	51°41'54"	N30°51'14"E	61.04'
C81	74.89'	150.00'	28°36'16"	N09°17'51"W	74.11'
C82	126.05'	260.00'	27°46'39"	N09°42'40"W	124.82'
C83	135.80'	295.00'	26°22'30"	N09°00'35"W	134.60'
C85	69.51'	120.00'	33°11'13"	N06°35'21"W	68.54'
C91	121.81'	135.00'	51°41'54"	N30°51'14"E	117.72'

EASEMENT INFORMATION:
 ALL RESIDENTIAL LOTS SHALL HAVE THE FOLLOWING EASEMENTS:
 - 10' UTILITY EASEMENT ALONG RIGHTS OF WAY
 - 10' DRAINAGE AND UTILITY EASEMENT ALONG REAR LOT LINE
 - 5' DRAINAGE AND UTILITY EASEMENT ALONG SIDE LINE
 ADJACENT TO TRACTS AND REAR OF OTHER RESIDENTIAL LOTS
 ALL TRACTS SHALL HAVE A 10' UTILITY EASEMENT ALONG RIGHTS OF WAY



SCALE VERIFICATION
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 1265 S Public Road, Suite B
 Louisville, CO 80026
 303.449.9105

HURST
 CIVIL ENGINEERING
 PLANNING
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PRELIMINARY PLAT
 PROSPERITY SUBDIVISION
 FREDERICK, COLORADO

DRAWN BY: BO
 DESIGNED BY:
 APPROVED BY:
 JOB NUMBER: 2526-03
 DATE: 03/13/20
 SCALE: 1"=60'
 SHEET NO: 4

PRELIMINARY PLAT PROSPERITY SUBDIVISION

Sheet 4



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C6	33.93'	475.00'	4'05'33"	S02°36'53"W	33.92'
C7	178.96'	475.00'	21°35'12"	N10°13'05"W	177.90'
C8	86.39'	55.00'	90°00'00"	N44°25'29"W	77.78'
C9	21.26'	475.00'	2°33'51"	S00°42'24"E	21.26'
C10	24.61'	550.00'	2°33'51"	N00°42'24"W	24.61'
C11	85.73'	55.00'	89°18'24"	N45°13'43"E	77.31'
C45	23.30'	445.00'	3°00'02"	N19°30'40"W	23.30'
C46	89.13'	445.00'	11°28'31"	N12°16'23"W	88.98'
C48	55.23'	445.00'	7°06'39"	N02°58'48"W	55.19'
C53	41.05'	25.00'	94°05'08"	S42°22'55"E	36.59'
C55	39.27'	25.00'	90°00'00"	N44°25'29"W	35.36'
C56	107.29'	85.00'	72°19'15"	N53°15'51"W	100.31'
C57	36.07'	505.00'	4°05'33"	S02°36'53"W	36.06'
C68	190.26'	505.00'	21°35'12"	N10°13'05"W	189.14'
C69	19.91'	445.00'	2°33'51"	N00°42'24"W	19.91'
C71	25.96'	580.00'	2°33'51"	N00°42'24"W	25.95'
C74	38.97'	25.00'	89°18'24"	N45°13'43"E	35.14'
C84	39.57'	25.00'	90°41'36"	S44°46'17"E	35.57'
C85	69.51'	120.00'	33°11'13"	N06°35'21"W	68.54'
C87	219.58'	455.00'	27°39'03"	N03°49'16"W	217.46'
C90	23.27'	520.00'	2°33'51"	N00°42'24"W	23.27'
C92	22.60'	505.00'	2°33'51"	N00°42'24"W	22.60'
C93	26.23'	85.00'	17°40'45"	S08°15'51"E	26.12'

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 - 5' DRAINAGE AND UTILITY EASEMENT ALONG SIDE LINE ADJACENT TO TRACTS AND REAR OF OTHER RESIDENTIAL LOTS
 ALL TRACTS SHALL HAVE A 10' UTILITY EASEMENT ALONG RIGHTS OF WAY

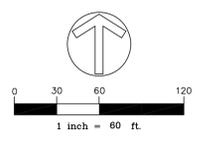
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 Louisville, CO 80026
 303.449.9105

PRELIMINARY PLAT
 PROSPERITY SUBDIVISION
 FREDERICK, COLORADO

DRAWN BY: BO
 DESIGNED BY:
 APPROVED BY:
 JOB NUMBER: 2526-03
 DATE: 03/13/20
 SCALE: 1"=60'
 SHEET NO: 5

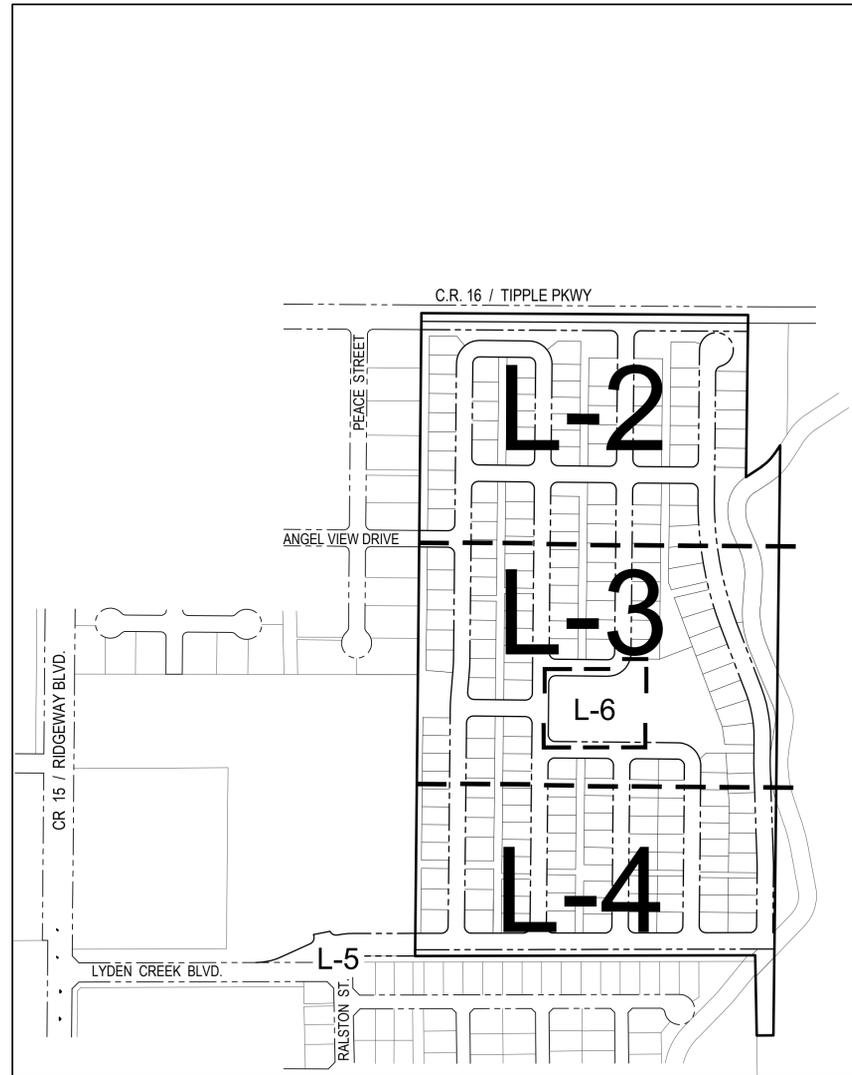


Sheet 2

PROSPERITY

PRELIMINARY PLAT LANDSCAPE CONSTRUCTION DRAWINGS

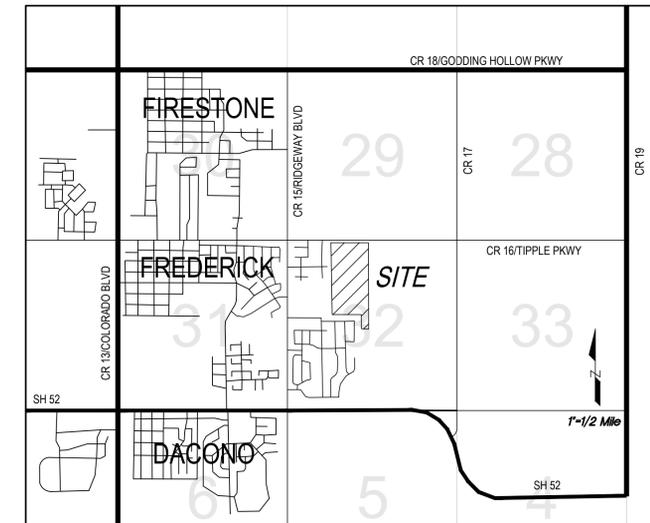
LOCATED IN NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH,
RANGE 67 WEST OF THE 6TH P.M.
TOWN OF FREDERICK, COUNTY OF WELD, STATE OF COLORADO



SHEET INDEX MAP

SHEET INDEX

- SHEET L-1 COVER SHEET
- SHEET L-2 LANDSCAPE PLAN
- SHEET L-3 LANDSCAPE PLAN
- SHEET L-4 LANDSCAPE PLAN
- SHEET L-5 LANDSCAPE PLAN
- SHEET L-6 LANDSCAPE PLAN
- SHEET L-7 SITE DETAILS
- SHEET L-8 LANDSCAPE DETAILS & NOTES



VICINITY MAP

LEGAL DESCRIPTION

PROSPERITY PRELIMINARY PLAT

NOTES

SEE PROSPERITY CIVIL ENGINEERING CONSTRUCTION PLANS FOR HARDSCAPE COORDINATION

PROJECT TEAM

PROPERTY OWNER:
Alliance Development Prosperity, LLC
110 Brook Street, Frederick, CO 80530
Frederick, Colorado 80530
(303) 709.5992
Contact: Rick Jablonski

LANDSCAPE ARCHITECT:
Hurst & Associates, Inc.
1265 S. Public Road, Suite B
Lafayette, CO 80026
(303) 449-9105
Contact: Rhonda Dick

CIVIL ENGINEER / SURVEYOR:
Hurst & Associates, Inc.
1265 S. Public Road, Suite B
Lafayette, CO 80026
(303) 449-9105
Contact: Carl Hurst

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72 HOURS BEFORE YOU DO
CALL THE UTILITY NOTIFICATION
CENTER OF COLORADO (UNLCCC)
811
FOR ALL UTILITIES AND PUBLIC UTILITIES
AND ALL UTILITIES AND PUBLIC UTILITIES

NO.	DESCRIPTION	DATE	BY
###	###	###	###
###	###	###	###
###	###	###	###
###	###	###	###
###	###	###	###
###	###	###	###
###	###	###	###
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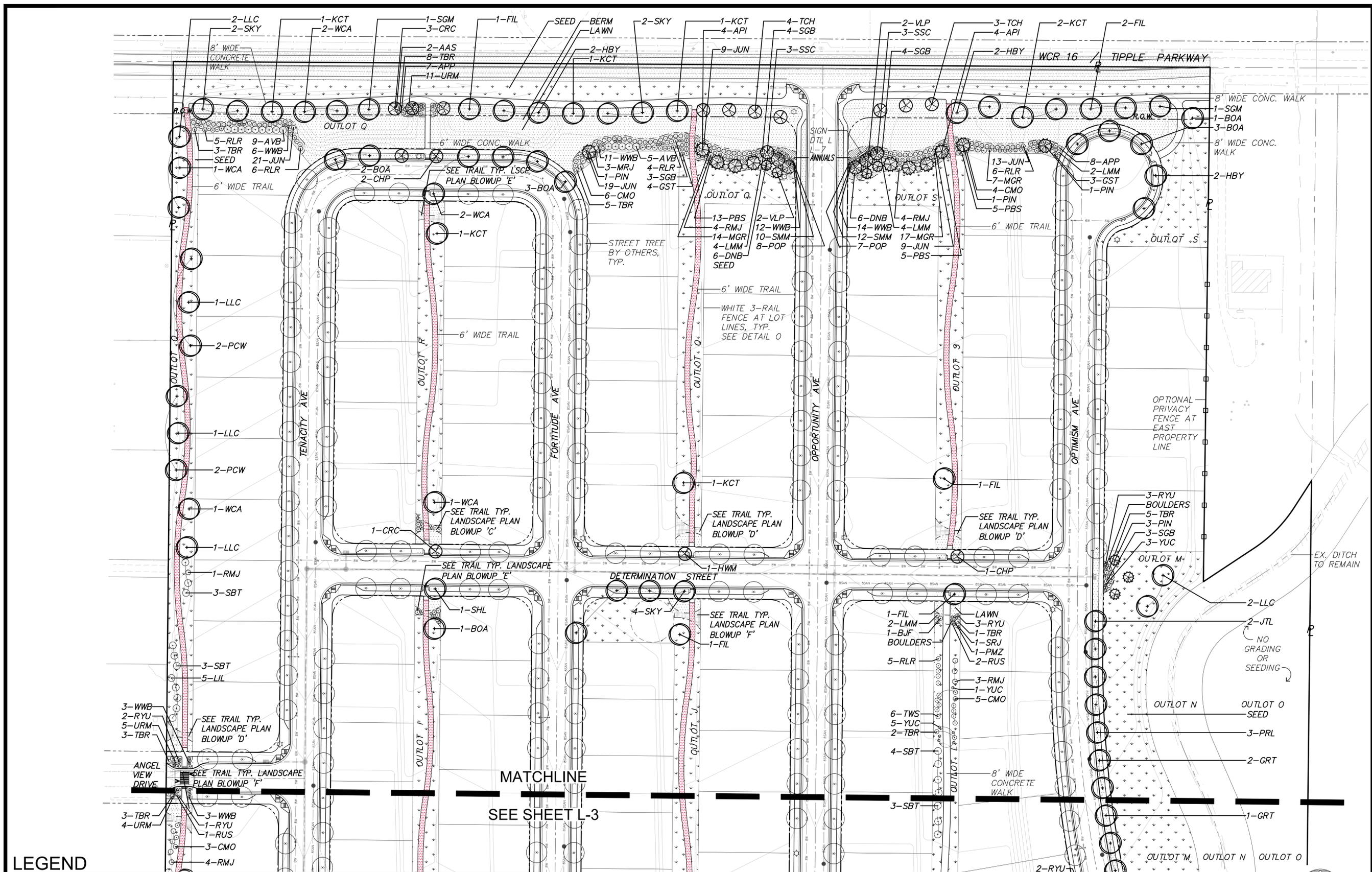


HURST & ASSOCIATES, INC.
1265 S. Public Road, Suite B
Lafayette, CO 80026
303.449.9105

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

PROSPERITY
PRELIMINARY PLAT LANDSCAPE
CONSTRUCTION DRAWINGS
COVER SHEET
FREDERICK, COLORADO

DRAWN BY: RD	DESIGNED BY: RD	APPROVED BY: RD
JOB NUMBER: 2526-30	DATE: 03/13/2020	SCALE: NA
SHEET NO: L-1	FILE LOCATION: G:\2526\2526\LS_CD.dwg	



LEGEND

- | | | | | | |
|--|---------------------------|--|---------------|--|-------|
| | TREE | | TRAIL | | SEED |
| | TREE (BY OTHERS) | | BUFFALO GRASS | | MULCH |
| | SHRUB / PERENNIAL / GRASS | | LAWN | | |
| | STREET LIGHT | | | | |

SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
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72 HOURS BEFORE YOU OR THE CENTER OF COLORADO (U.A.R.C.)
 811
 GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTIC UTILITIES LOCATIONS

NO.	DESCRIPTION	DATE	BY



HURST
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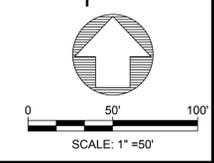
HURST & ASSOCIATES, INC.
 1265 S. Public Road, Suite B
 Lafayette, CO 80026
 303.449.9105

PROSPERITY
 PRELIMINARY PLAT LANDSCAPE
 CONSTRUCTION DRAWINGS
 LANDSCAPE PLAN

FRIDERICK, COLORADO

DRAWN BY:	RD
DESIGNED BY:	RD
APPROVED BY:	RD
FILE LOCATION:	RD

JOB NUMBER: 2526-30
 DATE: 03/13/2020
 SCALE: 1"=50'
 SHEET NO: L-2



APPROVED BY	XXXX
DRAWING NAME	ANGEL VIEW DR X-WALK
DESIGNED BY	HOCH
AJC	
DATE	5/6/20
SCALE	1"=5'
SHEET NO.	1

CONSTRUCTION PLANS
PROSPERITY SUBDIVISION
ANGEL VIEW DR, RAISED CROSSWALK

HURST
CIVIL ENGINEERING
PLANNING
SURVEYING

HURST & ASSOCIATES, INC.
1265 S. Public Road, Suite B
Lafayette, CO 80026
303.449.9105

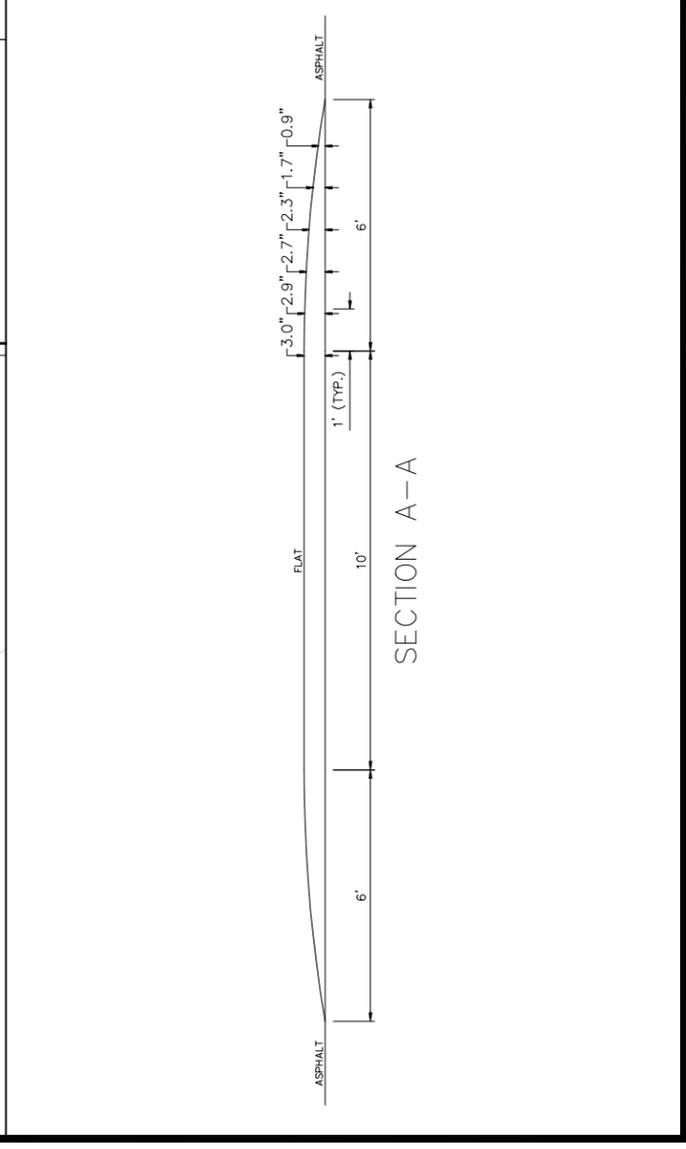
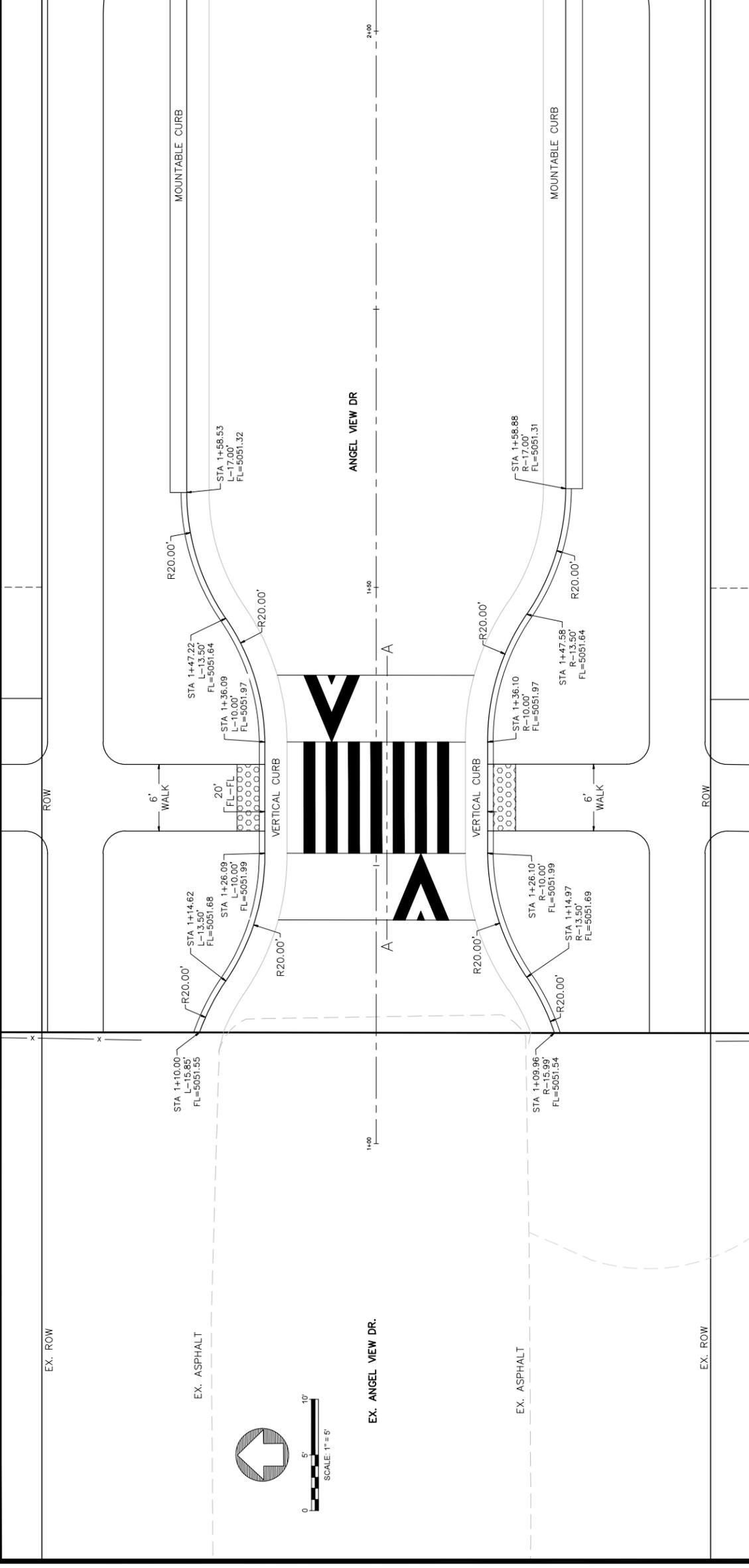
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	1-9-12	KX

REVISIONS

SCALE VERIFICATION
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ADJUST SCALES ACCORDINGLY

LEGEND

	Proposed Waterline
	Existing Waterline
	Proposed Sewerline
	Existing Sewerline
	Proposed Stormline
	Existing Stormline
	Water Service
	Sewer Service
	Fire Service
	Ex. Underground Electric
	Ex. Overhead Electric
	Existing Fiber Optic
	Existing Telephone Line
	Existing Cable TV Line
	Thrust Block
	Water Valve
	Fire Hydrant
	Plug
	Manhole
	Type 'R' Inlet
	Existing Contours
	Proposed Contours
	Street Light
	Install Handicap Ramp



**TOWN OF FREDERICK, COLORADO
RESOLUTION NO. 20-R-45**

**A RESOLUTION REGARDING THE REVIEW OF THE PRELIMINARY PLAT
OF THE PROSPERITY SUBDIVISION, ADOPTING CERTAIN FINDINGS OF
FACT AND CONCLUSIONS FAVORABLE TO THE PRELIMINARY PLAT.**

WHEREAS, the Board of Trustees of the Town of Frederick, Colorado, on Tuesday, May 12, 2020, considered the application of Jablonski Family, LLLP, for the Preliminary Plat of the following real property, to wit:

A PARCEL OF LAND LOCATED IN THE EAST HALF OF THE NORTHWEST QUARTER
OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF
FREDERICK, COUNTY OF WELD, STATE OF COLORADO as more precisely described in
the attached EXHIBIT A.

NOW THEREFORE, BE IT RESOLVED by the Board of Trustees of the Town of Frederick, Weld County, Colorado, that:

Section 1. Findings of Fact.

- a. Notice of the public hearing to consider the Preliminary Plat of the Prosperity Subdivision was published by posting on February 12, 2020, and published in the Longmont Times-Call on April 7, 2020. Both the posting and publication by newspaper took place more than 15 days before the date of the public hearing as required by the Frederick Land Use Code Section 4.5.
- b. Notice of the public hearing to consider the Preliminary Plat was mailed to the owners of property within 1000 feet of the boundary of the subject property on April 6, 2020, more than 15 days before the date of the public hearing as required by the Frederick Land Use Code Section 4.5.
- c. The public hearing before the Board of Trustees was held at the time and place as noticed and all those in attendance desiring to give testimony on the matter before the Board of Trustees were given that opportunity.
- d. Upon testimony received during the public hearing, it is evident that the applicant's application and supporting documents are in substantial compliance with *the Frederick, Land Use Regulations*, of the *Frederick Land Use Code*."
- e. Upon testimony received during the public hearing, it is evident that the Preliminary Plat is compatible with approved land uses on adjacent property and conforms with the requirements and standards established in *Article 4 of the Frederick Land Use Code*.
- f. Upon testimony received during the public hearing, it is evident that the proposed Preliminary Plat preserves the health, safety, welfare and interest of the citizens of the Town of Frederick, Colorado.

- g. During the public hearing, the Board of Trustees received and considered the recommendations made by the Frederick Planning Commission following their public meeting on the Preliminary Plat on April 21, 2020.

Section 2. Conclusions and Order Approving the Prosperity Preliminary Plat.

- a. The proposed Prosperity Preliminary Plat complies with the applicable sections of *Article 4*, of the *Frederick Land Use Code*.
- b. Approval of the Prosperity Preliminary Plat shall be subject to the following conditions:
 - (1) The dedication of right-of-way for the extension of Lyden Creek Boulevard and permanent drainage and raw water pond easements on Outlot B of Angel View Estates must be accepted and recorded prior to the recording of this preliminary plat.
- c. The approval of the Preliminary Plat shall be effective for one (1) year from the date of approval, said approval becoming null and void if a Final Plat application is not submitted to the Town within said time limit or any extension granted by the Board of Trustees. Approval of the Preliminary Plat does not result in the vesting of property rights under Title 24, Article 68, C.R.S., as amended.
- d. The proposed Prosperity Preliminary Plat, subject to the above conditions, is approved.

INTRODUCED, READ, PASSED, AND SIGNED THIS 12th DAY OF MAY, 2020.

ATTEST:

TOWN OF FREDERICK

By _____
Meghan Martinez, Town Clerk

By _____
Tracie Crites, Mayor

EXHIBIT A

Property Description

A PARCEL OF LAND LOCATED IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF FREDERICK, COUNTY OF WELD, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32 (2.5" ALUMINUM CAP, PLS 24305, 1998) FROM WHENCE THE NORTH QUARTER CORNER OF SECTION 32 (2.5" ALUMINUM CAP, PLS 24305, 1998) LIES S89°41'09"E, 1,319.64 FEET (BASIS OF BEARINGS);

THENCE S89°41'09"E, 1,319.64 FEET ALONG THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32;

THENCE S00°39'12"W, 30.00 FEET ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER;

THENCE N89°41'09"W, 122.55 FEET ALONG THE SOUTHERLY RIGHT OF WAY LINE OF TIPPLE PARKWAY, BEING A LINE PARALLEL WITH AND 30.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32;

THENCE S00°45'26"W, 561.20 FEET ALONG THE EASTERLY LINE OF "PARCEL 2" AS DESCRIBED IN DEED RECORDED 07/21/2000 AT RECEPTION NO. 2781936;

THENCE ALONG THE SOUTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN FINAL ORDER RECORDED 08/03/2015 AT RECEPTION NO. 4130263 THE FOLLOWING THREE COURSES:

1) N56°42'10"E, 69.71 FEET;

2) 65.84 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 159.95 FEET, A CENTRAL ANGLE OF 23°35'10", AND A CHORD BEARING N44°54'38"E, 65.38 FEET;

3) N33°07'07"E, 37.47 FEET TO THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32;

THENCE S00°39'12"W, 839.17 FEET ALONG THE SAID EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER;

THENCE S00°39'13"W, 1,313.65 FEET ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER;

THENCE S89°52'55"W, 61.00 FEET ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER TO THE EASTERLY LINE OF "SAVANNAH SUBDIVISION REPLAT A";

THENCE N01°06'23"W, 292.54 FEET ALONG SAID EASTERLY SUBDIVISION LINE;

THENCE S89°52'55"W, 1,246.38 FEET ALONG THE NORTHERLY LINE OF "SAVANNAH SUBDIVISION REPLAT A" TO THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32 (ALSO BEING THE EASTERLY LINE OF "ANGEL VIEW ESTATES SUBDIVISION");

THENCE N00°34'07"E, 1,026.10 FEET ALONG SAID WESTERLY LINE;

THENCE N00°34'31"E, 1,318.67 FEET ALONG THE WESTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 32 (ALSO BEING THE EASTERLY LINE OF "ANGEL VIEW ESTATES SUBDIVISION") TO THE POINT OF BEGINNING, CONTAINING 69.78 ACRES, MORE OR LESS.

Town of Frederick
P.O. Box 435
Frederick CO 80530

RE: Prosperity Subdivision Preliminary Plat
South of Tipple Parkway (WCR16); East of Angel View
Estates
North of Savannah Subdivision

Upon reviewing the preliminary plat for Prosperity
Subdivision we see there are 3 entrances as shown:

- #1 Off CR 15 (Ridgeway Blvd) onto Lyden Creek Blvd
(north side of Savannah subdivision)
- #2 Off Tipple to the north of Angel View Estates
- #3 Off Angel View Drive, through Angel View Estates

We have been told that 2 entrances are required into a
subdivision for emergency access.

As home owners of Angel View Estates we are asking
the Town of Frederick to consider our concerns
about the access to the proposed new subdivision
from Angel View Drive and our request for you to

allow only #1 and #2 entrances listed above.

Angel View Estates was designed with 27 foot wide streets, no curb and gutter and no sidewalks. The drainage swales on both sides of the street can be very steep in some areas of the neighborhood . Because of this there is no safe place to go if you are pushing a baby stroller, riding a bike or even walking your dog except stay in the street. There is barely room to "move over" for the current traffic. Right now with 60 homes in the neighborhood, we feel cars, bicyclists, and pedestrians coexist well but we are terribly concerned that this will not be the case if access is allowed to a new 250 home subdivision. We feel safety is a much bigger issue than allowing a 3rd access.

As a solution, if it's decided a 3rd entrance is needed for emergency services, may we propose to the local officials and developer to install a locked gate across the East end of Angel View Drive for emergency vehicles only.

We would also like to invite the local officials to meet with us to walk Angel View Drive to get a feel for the safety concerns we see as real problems.

Thank you for your consideration.

Home owners:

Name

Address

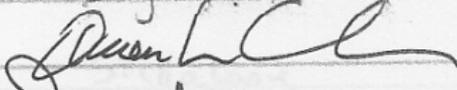
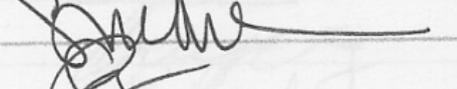
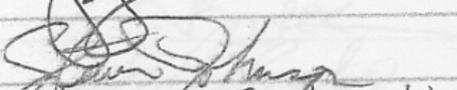
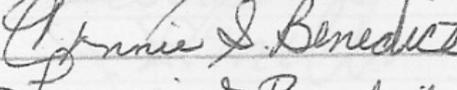
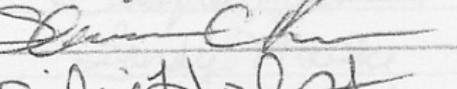
Printed Name	Signature	Address
William Alewel	W Al	6915 Peace St.
Vanessa Alewel		6915 Peace St.
Lynn Fabrizio		6917 Peace St.
Stephen Ken		6914 Peace St
Tom Petric		6919 Peace St
Lloyd VAN WINKLE		6923 PEACE ST.
NATALIE VAN WINKLE		6923 PEACE ST
Matt Davenport		6918 PEACE ST
Mark Ferguson	Mark Ferguson	6920 Peace St.
Diane Benz	Diane Benz	6910 Peace St
Vicki Johnson	Vicki Johnson	7994 Prosperity Ct.
Brittany Johnson		7994 Prosperity Ct
Larry Benz		6910 Peace St.
Megan Brooks	Megan Van Brooks	6908 Charity Ct
JONATHAN BROOKS		6908 CHARITY CT
Kelly Tatum		6912 Peace St.
Joe Tatum		6912 PEACE ST.
Jill Grivetti		7991 Faith Ct.
MARCI WYANT		7990 Faith Ct
RICK WYANT		7990 Faith Court
MAT LEMURE		7995 FAITH CT
Eric Scamehorn		7994 Faith St
Erika Scamehorn		7994 Faith Ct
Denise Romero		7997 faith ct
Eddie Romero		7997 Faith, CT
Katie Helstein		7998 Faith Ct.
Tracy Zarzan		7996 Faith Ct

6-3-2019

Angel View Estates

<u>Printed Name</u>	<u>Signature</u>	<u>Address</u>
Shanna Jessen	Shanna Jessen	7995 Prosperity Court
Hardy Dumas	Hardy Dumas	7990 Wisdom Ct.
Tina Rees	Junkie	7992 Wisdom Ct.
Shaun Dumas		7990 Wisdom Ct.
THAD LUTGENS		7989 Wisdom Ct.
Alexandra Lutgens	Alexandra Lutgens	7989 Wisdom Ct.
MACKENZIE LUTGENS	Al. Lutgens	7989 WISDOM Ct.
Christian Barry		7990 Wisdom Ct.
Lynn Matthews		7991 Wisdom Ct
Billy Matthews	Billy Matthews	" "
Nathan Jessen		7995 Prosperity Court.
Lisa Blakslee	Lisa Blakslee	7998 Prosperity Ct
William Blakslee	W Blakslee	7998 Prosperity Ct.
Ryan Antonio		7996 Prosperity Ct.
Christine Antonio	Christine Antonio	7996 Prosperity Ct.
Allen Rees	Allen Rees	7992 Wisdom Ct.
Jennifer Lavie	Jhane	6914 Saint St
Stacy Ellis		6918 Saint St.
Anna Giampietro	Anna Giampietro	6918 Saint St
William Giampietro		6918 Saint St
Mike Freisem		7996 Hope Ct
Jen Freisem		7996 Hope Ct
Justin Yeik		6920 Saint Street
Celeste Yeik	Celeste Elly Yeik	6920 Saint Street

6-3-2019

Printed Name	Signature	Address
Quinten Clark		7995 Hope Ct.
Stacia Shane		7995 Hope Ct.
Tommy Brady		7997 Hope Ct.
Steve Johnson		7999 Prosperity Ct.
Lonnie Benedict	Lonnie S. Benedict	7993 Wisdom Ct
Lonnie BENEDICT	Lonnie D. Benedict	7993 WISDOM CT
Craig Renke	Craig Renke	6911 Peace St.
Sharon Renke		6911 Peace St.
Dailie Holst	Dailie Holst	6911 Peace St.

Ali van Deutekom

From: Bata, Regina <regina.bata@medtronic.com>
Sent: Sunday, February 16, 2020 4:56 PM
To: Ali van Deutekom
Subject: Prosperity Development

I live in Angel View Estates and am adamantly opposed to the extension of Angel View Drive into the proposed Prosperity Development. Our street have no slide walks and creating Angel View Drive as thoroughfare would be dangerous.

I understand there are concerns regarding fire department and/or emergency access. I believe that could be accomplished via Tipple or with a break-away barrier/post at the end of Angel View Drive.

Regina Bata
6907 Charity Court
Frederick, CO 80530

Regina Bata
Sr. Manager, Supply Chain
Surgical Solutions Group

Medtronic
5920 Longbow Drive | Boulder, CO 80301 | USA

Office: 303.530.6118
Cell: 720.883.6401

regina.bata@medtronic.com



Covidien is joining Medtronic

www.medtronic.com

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Zack

From: Diane Benz [<mailto:dianetravels@yahoo.com>]
Sent: Wednesday, June 27, 2018 5:15 PM
To: Zack Santen
Subject: Angel View Estates

Hello Zack,

We live in Angel View Estates and have some concerns about the proposed new development of homes (Angel View East).

Our development does not have sidewalks and does not allow overnight parking. When we walk or push the baby strollers, wagons, etc through the neighborhood it is done down the street. We just "move over" when a car comes through to reach their homes. My big concern is will traffic be allowed down Angel View Drive to access the new subdivision? Our streets are just 30 feet wide and no room for expansion. What are the requirements for emergency vehicles on major streets?

We are all hoping the street will be closed off at the end of Angel View Dr where it dead ends now. Access to the new proposed sub division should be made off Tipple Parkway. Can you help?

Respectfully,

Diane Benz
6910 Peace Street
Frederick CO 80530
303-942-0539

Ali van Deutekom

From: Thomas Brady <ping.brady@gmail.com>
Sent: Saturday, February 15, 2020 11:36 AM
To: Ali van Deutekom
Cc: BOARD@AngelViewEstates.org; Kimberly Mowat
Subject: Prosperity Subdivision

Greetings Ali and Town of Frederick representatives,

I'm wiring you in reference to the Prosperity Subdivision planning meeting scheduled March 3rd of 2020. We will not be able to attend due to schedule conflicts, but wish to share our views for consideration.

As a resident of Angel View Estates, we are greatly concerned about connecting a passthrough road leading to the new Prosperity Subdivision. We recognize emergency vehicle pathways are necessary, but connections off tipple and other future connections (south) should be sufficient to Town guidelines. Especially when considering the alternative higher risk to safety that daily passthrough traffic poses to a community without sidewalks.

We have yet to speak with someone in our community who sees this differently - passthrough traffic has a direct adverse impact of our culture and safety. Our community has submitted signatures to the Town regarding this subject. I believe the developer of Prosperity Subdivision shares this view and has expressed interest in not connect to Angel View Estates. The safety of our subdivision is not negotiable. As such, speed-bumps, speed-limits, and terminating the road in such way that requires slowing down are not sufficient mechanisms.

Angel View Estates is populated by a mixture ranging from children to retirees. Please consider our safety and do not support passthrough traffic from other neighborhoods.

Brady Family
7997 Hope Court
Frederick, CO 80530

Ali van Deutekom

From: Bill Blakslee <blakslee@comcast.net>
Sent: Monday, February 17, 2020 10:54 AM
To: Ali van Deutekom
Subject: Prosperity Subdivision

We are relatively new to Frederick at 1-1/2 years, but we are proud to say we were able to invest in Angel View Estates, as just our third lifetime home purchase. Since moving here, the properties on both the NE and NW side of CR 15 & Tipple have begun construction. Now a third neighborhood is proposed and we assume no plans are underway for a Supermarket to serve us. We will all form a caravan into Firestone to shop their two chains. Can we at least have a fully paved CR 15 to Hwy 119?

We believe we need to have some commercial development in town before we continue to allow additional residential development. "If" Prosperity is approved, we would expect construction entrances to "only" be allowed from Tipple, direct into the new development. "If" for safety concerns, a fire access road is required through Angel View Estates, surely it could be cut through upon the final phase of development.

Regards,

Bill and Lisa Blakslee

Sent from my iPad

Mr. & Mrs. Darin Holcomb
7996 Angel View Dr.
Frederick, CO 80530
Phone: Darin (303)877-0256
Catherine (303)868-5802
Darin.Holcomb@gmail.com
Catherine_clayton@comcast.net

02/26/2020

City Planning Commission, City of Frederick CO
City of Frederick Trustees

Dear City Planning Commission, City of Frederick CO:

We are writing to express our concerns about recent discussion and pending decision to approve a new built adjacent community called Prosperity, and using Angel View Drive as an access point to this community. We believe that this decision will have a negative impact on the community of Angel View Estates for several reasons. The first and foremost reason is safety.

Firstly, Angel View Drive will be required to accommodate an increased volume of traffic. Currently, Angel View Estates is a private and separate neighborhood with no interconnected traffic to other neighborhoods, which is suitable considering the lack of sidewalks and narrow streets. The lower volume of traffic was what attracted us to this neighborhood in the first place. We originally moved here from the City of Westminster to get away from traffic noise, pollution and congestion. Desiring a healthier and less stressful environment in which to live. We desired a small and private and more exclusive neighborhood and we found that in Frederick's Angel View Estates.

The streets in Angel View are narrow, 28 feet wide. Each street is flanked by a ditch that runs parallel, each of which is the responsibility of the homeowner to landscape and maintain. Therefore, the ditch along the front of each home is landscaped differently, many ditches with large rocks that are difficult to walk on. There are no sidewalks. Therefore, vehicles are obliged to share the road with pedestrian and bicycle traffic and vice versa. This has not been too great of a problem since Angel View is small and isolated. However, even our residents have difficulty maintaining appropriate speeds on Angel View Dr. as it is a long, straight roadway without any stop signs, or any other speed reducing traffic breaks. Case in point... One evening this summer we lost our dog to a motor vehicle on Angel View Dr. We believe that driver was going too fast to react when our dog stepped from between our vehicles onto the side of the poorly lit roadway, as the driver said that

he thought our dog was “a raccoon” and did not slow for him. We believe not only speed was a factor in this tragic accident, but also poor lighting, and the narrow roadway.

Angel View has little in the way of street lighting which makes it hard to see at night. This is compounded by the fact that one of the few lights, lamp post adjacent to the central area “green space”, was recently knocked down and has yet to be replaced.

Also pedestrian safety is directly related to road width, access to safe walkways, and traffic speeds. According to the World Health Organization (WHO) “Absent or weak infrastructure for walking and cycling are major factors responsible for the increased risk of traffic injury among pedestrians and cyclists”, and “Vehicle–pedestrian collisions are 1.5 to 2 times more likely to occur on roadways without sidewalks” (World Health Organization, 2013).

Angel View St. is a straight road without traffic breaks people are much more comfortable traveling at speeds greater than those posted at 25 mph, more like 30-40 mph. According to the US Department of Transportation: Federal Highway Administration (FWA) a pedestrian has a 95% chance of surviving being struck by a vehicle at 20 mph, while only at 55% chance of surviving at 30 mph, further only at 15% chance of surviving at 40 mph.

Angel View has seen recently a new influx of neighbors with children and growing families. These children must walk through the neighborhood to reach the bus stop for school, which is located at the end of our community on Ridgeway, and they often ride their bikes and play alongside the road in the summer. An increase in traffic, especially along Angel View Dr., would put them all at increased risk for injury from motor vehicles, especially from those traveling through our neighborhood to access Ridgeway. The hours when the children are walking to the bus stop are peak hours for those commuting to work as well. Considering there are no built in traffic breaks, like stop signs, along this road we believe it would be a desirable route for those coming from the community of Prosperity to reach Ridgeway. This includes increased traffic from delivery trucks such as Amazon and UPS, waste removal, as well as construction traffic. And would therefore see much more use than what your engineers have projected, further increasing the risk to our children’s safety.

According to Dan Burden’s Street Design Guidelines for Healthy Neighborhoods “motorist behavior is primarily dictated by street design. Left solely to traffic engineering, neighborhood street design often reflects the interests of cars rather than the needs of people and healthy neighborhoods” (Burden, 1999). He states that when neighborhoods lack schools, parks, churches, stores and other conveniences residents typically take 10 to 12 car trips per household every day (Burden, 1999). This description fits most of the neighborhoods on the west side of Colorado Boulevard in Frederick, including Angel View Estates, the proposed Prosperity project, and Savannah, as well as others. Most of the town of Frederick in fact. Now do the math. If most of the households in Angel View take 10 to 12 trips per day, that’s at least 800 trips out of Angel View alone, 1600 if you count both ways in and out. Now add the traffic

coming in and out of Prosperity through Angel View. The numbers would have a staggeringly detrimental effect on our neighborhood in maintenance, safety, aggravation and stress. He also goes on to state that neighborhoods such as these have “long, unconnected blocks with only a few entrance points...Motorists using these streets feel comfortable and safe at driving at higher speeds (30-40 mph”, calling these neighborhoods “unsustainable urban designs” that generate polluted water runoff, encourage fossil fuel consumption, and generate more air pollution and traffic congestion because they concentrate traffic into collectors and arterial streets with few alternate routes. This describes exactly what this builder is proposing we, the Town of Frederick, continue to do. We, the residents of Angel View Estates have no desire to live in or along one of Prosperity’s “traffic collectors”.

Sincerely,

Mr. & Mrs. Darin Holcomb

Works Cited

Burden, D. (1999). *Street Design Guidelines for Healthy Neighborhoods*. Retrieved from http://onlinepubs.trb.org/onlinepubs/circulars/ec019/Ec019_b1.pdf

Federal Highway Administration. (n.d.). *Pedestrian Facilities Users Guide - Providing Safety and Mobility*. Retrieved from <https://www.fhwa.dot.gov/publications/research/safety/01102/>

World Health Organization. (2013). *Pedestrian safety: A road safety manual for decision-makers and practitioners*. Retrieved from https://apps.who.int/iris/bitstream/handle/10665/79753/9789241505352_eng.pdf;jsessionid=BAA85D6AA152E2E4CC8B2BE6A3D830D0?sequence=1

February 20, 2020

Attn: Ali van Deutekom
Town of Frederick

Dear Aly,

As you are aware, Blackfox Real Estate Group, LLC is the owner of Outlot B, Angel View Estates Subdivision, and recently we sold vacant land to Rick Jablonski for the proposed Prosperity subdivision. Rick and I have been in discussions for many months regarding certain easements and infrastructure that may benefit both of our future developments and are looking forward to working together to bring great projects to the community. In particular, we have discussed:

- Intersection and access improvements along the SE portion of Outlot B and the SW portion of the Prosperity property
- Non-potable irrigation pond and irrigation infrastructure near the NE corner of Outlot B for the benefit of the Prosperity and Angel View Estates subdivisions
- Storm drainage channel / infrastructure along the northern portion of Outlot B to the off-site Frederick owned regional detention pond
- St Vrain Sanitation District sanitary connection across Outlot B for the benefit of the Prosperity Subdivision

While we have not solidified the details regarding such easements and infrastructure, it is our intent to work in good faith with Rick to provide such easements and infrastructure for the Prosperity and Blackfox Real Estate Group developments.

Sincerely,


Jason Hepp
Blackfox Real Estate Group, LLC

Ali van Deutekom

From: Barnett, Teena <teena.w.barnett@gmail.com>
Sent: Wednesday, April 29, 2020 11:28 AM
To: Ali van Deutekom
Subject: Savannah residents concerns re Prosperity
Attachments: Savannah Neighborhood Concerns in regard to Prosperity Subdivision final.pdf

Ali,

Attached is a document with signatures representing residents of Savannah who are concerned about the extension of Leyden Creek Blvd for the Prosperity subdivision. Please enter it along with this email into the official record.

The proposed extension of Leyden Creek Blvd is worrisome for a number of reasons as it's expected that the majority of Prosperity homeowners will be using this road to access their homes thereby significantly increasing the number of cars through our quiet neighborhood.

1. This road will run along our backyards with currently no sound mitigation in place.
2. Headlights of vehicles headed south on the streets of Prosperity will shine directly into our bedroom windows.
3. The increased traffic on the walking path further erodes our privacy.

Our first ask would be to relocate the road. If that's not an option we are asking for the developer to provide either a row of trees as noted in the attached document or a minimum 8ft privacy fence along our north border in order to alleviate these issues. The fence that was erected along Ridgeway Blvd and Laughlin Blvd is requested as it would be consistent within our neighborhood.

We are very aware that Prosperity will limit - if not eliminate entirely - the current views we have of the Front Range Mountains causing a decrease in our property values. Having an open, exposed road along our back yards will only further the decline in value.

Feel free to contact me with any additional questions you may have. Please confirm receipt of this email and advise our next best steps in this matter.

Thank you.

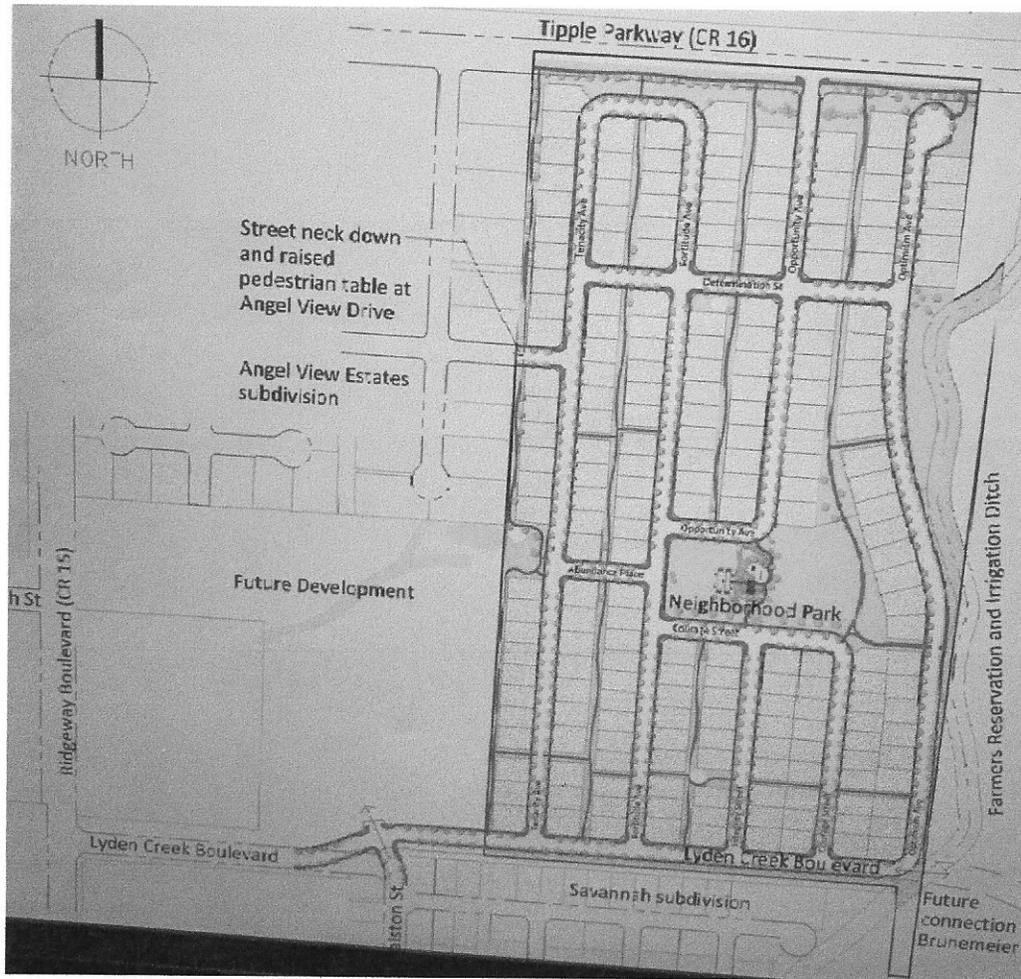
Sincerely,

Teena Barnett
7936 Columbine Ave
Frederick, CO 80530
720.363.0097

Savannah Neighborhood Concerns in regard to Prosperity Subdivision

Prosperity Subdivision to be built directly to the North of Savannah Subdivision will include 206 lots. The main entrance to the Prosperity is proposed to be a realigned Leyden Creek Blvd. (See the attached photo). Based on the national average of 1.88 cars per household and that an estimated 70% of these homes will utilize this entrance, it is estimated that 271 cars will traverse this road 1-2 times minimum each day.

The current platt doesn't provide any noise mitigation to those houses along the north side of Columbine Ave. We the residents of Columbine Ave are requesting a sound mitigation barrier to be erected in the form of either evergreen trees (such as a Junior Giant Thuja trees planted 3 ft apart) or a Sound Barrier Fence to be erected by the developer. This will not only provide noise mitigation but also allow us to maintain the privacy to which we are accustomed since moving into the neighborhood.



Respectfully submitted by we, the undersigned residents of Savannah located on Columbine Avenue.

~~Debra Barnett~~ 7936 Columbine Ave 4/25/20

~~[Signature]~~ 7936 Columbine Ave 4/25/20
Dan Pellerito 7938 Columbine Ave 4/25/20

Jade Pellerito 7938 Columbine Ave 4-25-20

Mr & Mrs Quin Kaplan 6305 Clayton Circle 4-25-20

Dale R. Vate Letterberger 7942 Columbine Ave 4/25/20

John & Jennifer Miller 7946 Columbine Ave 4/25/20

Mark & Lorna Adams 7948 Columbine Ave 4-25-20

Pally Yelaim 7952 Columbine Ave 4/25/20

Catherine Dorfhauf 7954 Columbine Ave 4/25/20

David Keffington 7954 Columbine Ave 4/25/20

A Powell 7958 Columbine Ave 4/25/20

Zeb S. Sanborn 7962 Columbine Ave 4/25/2020

Christine Robinson 6182 Clayton St. 4/25/2020

Mr & Mrs James Martineau 7960 Columbine 4/25/2020

John Pryor 7968 Columbine AVE 4/25/2020

Courtney Pryor 7968 Columbine AVE 4/25/2020

[Signature] 7970 Columbine Ave 4/25/2020

[Signature] " 4/25/2020

Paul [Signature] 7940 COLUMBINE AVE. 4/26/20

Mr & Mrs Tate 6195 Graden St 4/26/20

1 **PCR-2020-03C**

2 **A Resolution of the Planning Commission**

3 **Recommending Conditional Approval of the Prosperity Preliminary Plat**

4
5 Be it resolved by the Planning Commission of the Town of Frederick, Colorado:

6
7 Section 1. The Frederick Planning Commission finds that:

- 8 1.1 An application for the Prosperity Preliminary Plat has been submitted.
9 1.2 Said application was found to be complete through the review process.
10 1.3 Said application was considered during a public meeting held April 21, 2020.
11 1.4 Proper notice was given according to Section 4.5 of the Frederick Land Use Code.
12 1.5 Said application conforms with the applicable requirements of Section 4.7.4 of the
13 Frederick Land Use Code.

14 Section 2. This resolution constitutes the written report, findings and decision of the Town
15 of Frederick Planning Commission.

16 Section 3. On the basis of the above, the Town of Frederick Planning Commission
17 recommends approval of the application with the following conditions:

- 18 1. The dedication of right-of-way for the extension of Leyden Creek and
19 permanent drainage and raw water pond easements on Outlot B of Angel View
20 Estates must be accepted and recorded prior to the recording of this preliminary
21 plat.
22
23

24 This resolution approved this 21st day of April, 2020 by a vote of 4 to 1.

25
26 

27 _____
28 Tracy Moe, Chairperson, Planning Commission



401 Locust Street • P.O. Box 435 • Frederick, CO
80530-0435

Phone: (720) 382-5500 • Fax: (720) 382-5520

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MINUTES
TOWN OF FREDERICK
PLANNING COMMISSION
VIRTUAL MEETING CONDUCTED VIA ZOOM
April 21, 2020
6:30 PM

CALL TO ORDER: At 6:30 p.m. Chairperson Moe called the meeting to order and requested roll call.

ROLL CALL:

- Present: Chairperson Moe, Vice Chair teVelde, Commissioners Conroy and Stark, Alternate Commissioner Blair
- Staff: Planning Director Jennifer Simmons, Planners Ali van Deutekom and Maureen Welsh, Engineer Jason Berg, Town Attorney Rick Samson and Town Clerk Meghan Martinez

APPROVAL OF AGENDA: There were no changes to the agenda as presented.

APPROVAL OF FEBRUARY 4, 2020 MINUTES: Motion by Commissioner Conroy and seconded by Commissioner Stark to approve the February 4, 2020 Minutes. Upon roll call vote, motion passed unanimously.

CONSIDERATION OF THE PROSPERITY PRELIMINARY PLAT:

Planner Ali van Deutekom presented the proposed preliminary plat. The applicant Rick Jablonski was present and addressed the commission. Mr. Hurst was also present on behalf of the applicant and addressed the commission.

Motion by Commissioner Stark and seconded by Commissioner Scott to approve PCR-2020-03C with conditions as outlined by staff. Upon roll call vote, motion passed 4-1 with Commissioner Conroy voting no.

PUBLIC HEARING CONSIDERATION OF THE COLORADO WEST CONDITIONAL USE:

Planner Maureen Welsh presented the proposed conditional use. The applicants Gordan Wooley, Jeff Koza, and OB Begley were present and addressed the commission.

At 7:35 Chairperson Moe opened the public hearing.

At 7:36 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Vice Chair teVelde to approve PCR-2020-04A. Upon roll call vote, motion passed unanimously.

PUBLIC HEARING CONSIDERATION OF THE G2 MOTOR CARS CONDITIONAL USE:

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Planner van Deutekom presented the proposed conditional use application. The applicant Grant Gorath was present and addressed the commission.

At 7:48 Chairperson Moe opened the public hearing.

At 7:48 Chairperson Moe closed the public hearing.

Motion by Commissioner Conroy and seconded by Commissioner Stark to approve PCR-2020-05A. Upon roll call vote, motion passed unanimously.

OTHER BUSINESS:

Planning Director Jennifer Simmons indicated that the next Planning Commission meeting is on May 5, 2020 and may be conducted via Zoom.

There being no further business of the Planning Commission, Chairperson Moe adjourned the meeting at 7:50PM.

Approved by the Planning Commission:

Tracy Moe, Chairperson

ATTEST:

Meghan Martinez, Town Clerk



TOWN OF FREDERICK

Board of Trustees

Information Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Trustee Vacancy

Agenda Date: Town Board Meeting - May 12, 2020

Attachments:

Submitted by:


Town Clerk

Approved for Presentation:


Town Manager

Detail of Issue/Request:

At the April 28, 2020 Board Meeting, staff was directed to draft an application and propose a timeline for appointment of a Trustee to fill a vacancy created by the resignation of Mayor Crites from her Trustee position. Staff has prepared the attached application for review by the Board of Trustees and propose the following timeline:

Applications open – May 13, 2020
Applications due – May 29, 2020 at noon
Board Review – June 2, 2020 (Work Session)
Board Interviews – June 9, 2020
Appointment – June 23, 2020

Staff requests direction from the Board regarding the application and timeline.

Legal Comments:

The Town Attorney advised the Board of the options available for appointment at the April 28, 2020 Board meeting.

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Alternatives/Options:

The Board could order an election or implement a different procedure for appointment of a new Trustee.

Financial Considerations:

None.

Staff Recommendation:

Staff takes no position as filing the vacancy is at the discretion of the governing body.



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Board of Trustees Accepting Applications

The Town of Frederick Town Board is accepting applications from persons interested in being appointed to the Frederick Town Board, which became vacant as of April 28, 2020 when current Mayor Tracie Crites resigned her position as Trustee.

To qualify for appointment, applicants must meet the following requirements:

- ✓ Be a U.S. citizen
- ✓ Be a registered elector
- ✓ Be a resident of the Town for at least one year immediately preceding appointment

The appointment to fill the vacancy would be for a term that would begin on the effective date of the appointment (approximately June 2020) and end at the second Town Board meeting after the April 26, 2022 election results have been certified.

The Frederick Town Board meets in regular session on the second and fourth Tuesday of each month at 7:00 p.m. in the Board Room at the Frederick Town Hall, 401 Locust Street. The Board also holds work sessions on the first and third Tuesday from 5:00-7:00p.m. In addition to attending Board meetings, Board members may also be appointed as Board representatives to other boards, commissions, and organizations.

Town Board members are paid for their service, which is currently \$150 per month.

Applications must be submitted to the Town Clerk's office no later than Friday, May 29, 2020 at 12:00 p.m. In addition to submitting a completed application, applicants may also include a current resume, letter of interest, or other supplemental information if desired. The Town Board intends to review applications at the June 2, 2020 meeting. Interviews with the top candidates will be conducted on June 9, 2020 with appointment of the top candidate on June 23, 2020. Please contact the Clerk's office at 720 382-5500 or mmartinez@frederickco.gov with any questions.

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BOARD OF TRUSTEE VACANCY APPLICATION

This application is subject to the Colorado Open Records Act and should not be considered confidential.

Name: _____

Home Address: _____

Mailing Address: _____

Email Address: _____

Occupation: _____ Employer: _____

Phone #: _____ Work Phone #: _____

Education Years Completed: _____ College(s): _____

Degree(s): _____

How much time are you able to devote? _____

Have you served on a Board/Commission before? If so what was your experience? _____

Do you have experience in any of the following categories?

- Planning and Development
- Engineering
- Finance
- Commercial/Mortgage Banking
- Legal Field
- Construction
- Real Estate/Real Estate Appraisal
- Urban Renewal
- Metro Districts
- Public Art

- Board or Committee Service
- Long Term Goal Setting and Financial Planning

Please provide a brief description of your experience and why you are interested in serving as a member of the Board of Trustees.

What skills, connections, resources, and expertise do you have to offer and are willing to use on behalf of the Town of Frederick?

Have you read or are you familiar with any of the following documents?

- Frederick Land Use Code
- Frederick Comprehensive Plans
- Downtown Development Plan

- Frederick Municipal Code
- Art Master Plan
- Parks, Open Space, and Trails Master Plan

Why would you like to be appointed to the Board of Trustees? _____

If appointed, what would be your top three priorities for the Town? _____

What does service to your community mean to you? _____

Applicant Signature: _____

Date: _____



TOWN OF FREDERICK

Board of Trustees

Information Memorandum

Tracie Crites, Mayor

Rusty O'Neal, Trustee
Mark Lamach, Trustee
Adam Mahan, Trustee

Dan March, Trustee
Kevin Brown, Trustee
Vacant, Trustee

Appointments to Various Boards and Commissions

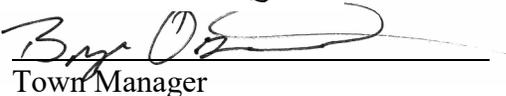
Agenda Date: Town Board Meeting - May 12, 2020

Attachments:

Submitted by:


Town Clerk

Approved for Presentation:


Town Manager

Detail of Issue/Request:

At the April 28, 2020 Board Meeting, staff was directed to compile a list of Boards and Commissions that the Board of Trustees are participants.

- Building Appeals Board: To hear and decide appeals of orders, decisions, or determinations made by the Building Official relative to the application and interpretation of the Frederick Building Code. Meets only as needed.
- Arts Commission: To advise the Board on acquisitions of works of public art and their placement. Meets on the 2nd Tuesday of each month at 4:30 PM.
- Historic Preservation Commission: To advise the Board of Trustees on the preservation of the history of the Town of Frederick. Mainly handles the Miners Museum. Meets on the last Tuesday of each month at 9:00 AM.
- Parks, Open Space, and Trails Commission: To review and recommend to the Board of Trustees in all matters concerning the acquisition, development and maintenance of municipally owned parks, open space, and trails. Meets on the 1st Wednesday of each month at 7:00 PM.

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- Highway 52 Coalition: Group of local government agencies including Weld County CDOT focused on improvements to Highway 52. Meets 4th Thursday, monthly. These meetings will rotate to a different town each month.
- Miners Day Committee: Advisory group to Community Relations team on the planning and implementation of the annual Miners Day event. Meets on the 2nd Wednesday of each month at 4:30 PM.
- DRCOG: Denver Council of Regional Governments SW Weld County Forum. Meets quarterly on the 2nd Thursday of each month from 2:00 – 3:00 at the SW Weld Annex Building. Next meeting is June 13th.
- Northern Water Liaison: Attendance at NISP and Windy Gap project update meetings.
 - NISP
 - June 8, July 6, August 10, September 14, October 5, November 9, December 7
 - Windy Gap
 - June 9, July 7, August 11, September 8, October 6, November 10, December 8
- Chamber Liaison: The Carbon Valley Chamber has a monthly Chamber After Hours as well as luncheon. 1st Thursday of the Month Business After Hours 5:30 – 7:30 pm, being held via Zoom at this time. 3rd Thursday of the month Business Luncheons 11 am to 1 pm – on hold right now.
- Carbon Valley Seniors Liaison – activities on hold.
- Downtown Business Association: Currently does not meet.

Legal Comments:

None.

Alternatives/Options:

Financial Considerations:

None.

Staff Recommendation:

Staff takes no position as appointments are at the discretion of the governing body.